



421 W. RIVERSIDE
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SPOKANE, WA 99201

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ADDENDUM NO. 02

March 8, 2021

PACIFIC PLACE RENOVATION
South Bend, Washington

The following addendum items shall become part of the Contract Documents for the above referenced project.

DRAWINGS

Note: All drawing revisions are clouded.

- Item No. 1:** Replace sheet G101 with the attached.
- Item No. 2:** Replace sheet AC101 with the attached.
- Item No. 3:** Replace sheet AC501 with the attached.
- Item No. 4:** Replace sheet A121 with the attached.
- Item No. 5:** Replace sheet A201 with the attached.
- Item No. 6:** Replace sheet A401 with the attached.
- Item No. 7:** Replace sheet A402 with the attached.
- Item No. 8:** Replace sheet A403 with the attached.
- Item No. 9:** Replace sheet A501 with the attached.
- Item No. 10:** Replace sheet A511 with the attached.
- Item No. 11:** Replace sheet A512 with the attached.
- Item No. 12:** Replace sheet E401 with the attached.

****END OF ADDENDUM****

ABBREVIATIONS

SYMBOLS

Table of abbreviations for building components and materials, including A/C, AB, ACC, ACS PNL, AD, AFF, ALUM, AFA, ARCH, BD, BLDG, BLKG, BM, BOT, BR, BRG, BTAN, BUR, CAB, CB, CF/GI, CF/OI, CJ, CL, CLG, CLO, CLR, CMU, COL, CONC, CONSTR, CONTR, CPT, CSK, CT, CU FT, CU YD, D, DBL, DET, DF, DIA, DIAG, DIM, DIV, DL, DR, DS, DTL, DW, DWG, E, EJ, EL, ELEC, ELEV, EQ, EQUIP, EN, EXH, EXIST, EXP, EXP BT, EXT, FA, FD, FDC, FDTN, FE, FEC, FF, FH, FIN, FLR, FLUOR, FP, FR, FRP, FRTRN, FT, FTG, GA, GALV, GB, GC, GFCI, GL, GLU, GUT, GYP BD, H, HB, HGND, HDN, HM, HORIZ, HP, HT, HVAC, ID, INCL, INSUL, INT, INV.

THE FOLLOWING SYMBOLS IDENTIFY TYPICAL CONDITIONS & ELEMENTS & ARE APPLICABLE ONLY IF UTILIZED IN THE DOCUMENTS.

Diagrammatic symbols for various elements including working points, revisions, test borings, spot elevations, contours, property corners, door tags, window tags, wall type identifiers, room tags, level indicators, detail indicators, building section indicators, and material patterns like earth, gravel, asphalt, concrete, brick, steel, aluminum, plywood, wood blocking, and insulation.

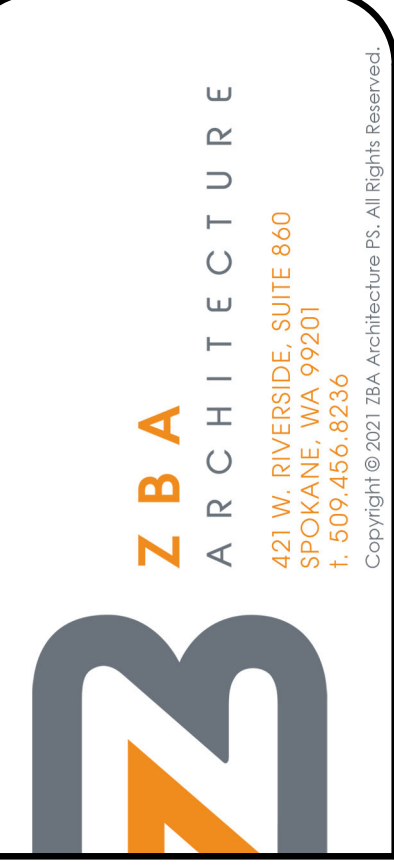
CODE ANALYSIS

APPLICABLE CODES: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2018 INTERNATIONAL BUILDING CODE (IBC), 2018 INTERNATIONAL MECHANICAL CODE (IMC), 2018 INTERNATIONAL FIRE CODE (IFC), 2018 UNIFORM PLUMBING CODE (UPC), 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 WASHINGTON STATE ENERGY CODES. OCCUPANCY CLASSIFICATION: R-2. CONSTRUCTION TYPE: V-B (1-HR). FIRE SPRINKLER SYSTEM: NONE. FIRE ALARM SYSTEM: YES.

PACIFIC PLACE APTS JOINT PACIFIC COUNTY HOUSING AUTHORITY

208 Central Ave South Bend, WA 98586

JANUARY 29, 2021



BUILDING PERMIT DATA

A. Project: Pacific Place Apartments, 208 Central Ave, South Bend, WA 98586. B. Entities: Owner: Joint Pacific County Housing Authority, 820 11th Ave, Longview, WA 98632. Architect: ZBA Architecture, PS 421 W. Riverside Suite 800, Spokane, WA 99201. C. General Project Description: 1. New (N) Remodel (X) Addition (A) Alteration (I). 2. Existing Lot/Building Use: APARTMENTS. 3. Parcel #: 10191019003. 4. Zoning: Downtown & Commercial District (DC). 5. Proposed Use: APARTMENTS. 6. Number of Dwelling Units: 24. 7. Construction Type: V-B. 8. Building Fire Sprinkler System: NONE. 9. Land Area: 39,000 SF (0.90 ACRES).

GENERAL NOTES

- 1. VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.
2. NOT ALL DEMOLITION MAY BE INDICATED ON DEMOLITION PLANS OR WITH DEMOLITION NOTES. 'REPLACE' AND 'PROVIDE NEW' MAY INDICATE DEMOLITION NOT SHOWN. CONTRACTOR TO VERIFY DEMOLITION WORK REQUIRED BASED ON NEW WORK SHOWN.
3. ALL GLASS IN DOORS & WITHIN 24" OF DOORS SHALL BE TEMPERED GLASS.
4. ALL EXHAUST FANS, RANGE HOODS & CLOTHES DRYERS SHALL EXHAUST TO THE EXTERIOR & SHALL TERMINATE IN OUTLET CAPS/LOUVERS. OUTLET CAPS/LOUVERS SHALL BE LOCATED AT LEAST 3 FEET FROM OPERABLE WINDOW SASHES & DOORS.
5. PENETRATIONS THROUGH OR INTO FIRE RATED WALLS AND CEILINGS SHALL BE LIMITED TO STEEL OR OTHER APPROVED ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES AND TO NON-COMBUSTIBLE PIPE OR CONDUIT NOT EXCEEDING 4 INCH NOMINAL DIAMETER. THE ANNULAR SPACE BETWEEN A PENETRATING ITEM AND GYP BD SHALL BE FILLED WITH IBC APPROVED FIRESTOPPING. OUTLET BOXES ON OPPOSITE SIDES OF A FIRE RATED WALL SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES, OR SHALL HAVE APPROVED RATED INSERTS.
6. NO PIPING, DUCTS, WASHER BOXES, WALL HEATERS, OR ITEMS OTHER THAN PIPING AND APPROVED ELECTRICAL BOXES SHALL BE INSTALLED IN PARTY WALLS. WATER PIPING SHALL NOT RUN IN EXTERIOR WALLS OR ATTICS, INCLUDING FIRE SPRINKLER PIPING.
7. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE FOLLOWING CODES AND REGULATIONS: IBC, UPC, IMC, IFC, LATEST EDITION OF THE NEC, AMERICANS WITH DISABILITIES ACT, FEDERAL FAIR HOUSING AMENDMENTS ACT & ANY OTHER ADOPTED OR APPLICABLE CODE OR REGULATION, INCLUDING WASHINGTON STATE AMENDMENTS TO THOSE LISTED ABOVE.
8. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE COMPLETION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE MENTIONED COMPONENTS. VISITS TO THE SITE BY THE ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

SHEET INDEX

Table with columns: GENERAL, ARCHITECTURAL SITE, ARCHITECTURAL, ELECTRICAL. Lists sheet numbers and titles like G101 GENERAL INFORMATION, AC101 ARCHITECTURAL SITE PLAN, etc.

ACCESSIBILITY STANDARDS

SITE AND COMMUNITY AREAS: 2018 IEBC / 2018 IBC, 2009 ICC A111.1 ACCESSIBLE & USABLE BUILDING & FACILITIES, 2010 ADA STANDARD FOR ACCESSIBILITY DESIGN UNIFORM FEDERAL ACCESSIBILITY STANDARDS.

AREAS & UNIT COUNTS

Table showing unit counts: 1 BEDROOM UNIT: 21 units, 1 BEDROOM HEARING-IMPAIRED UNIT: 1 unit, 1 BEDROOM ACCESSIBLE UNIT: 1 unit, 2 BEDROOM ACCESSIBLE UNIT: 1 unit. Total units: 24.

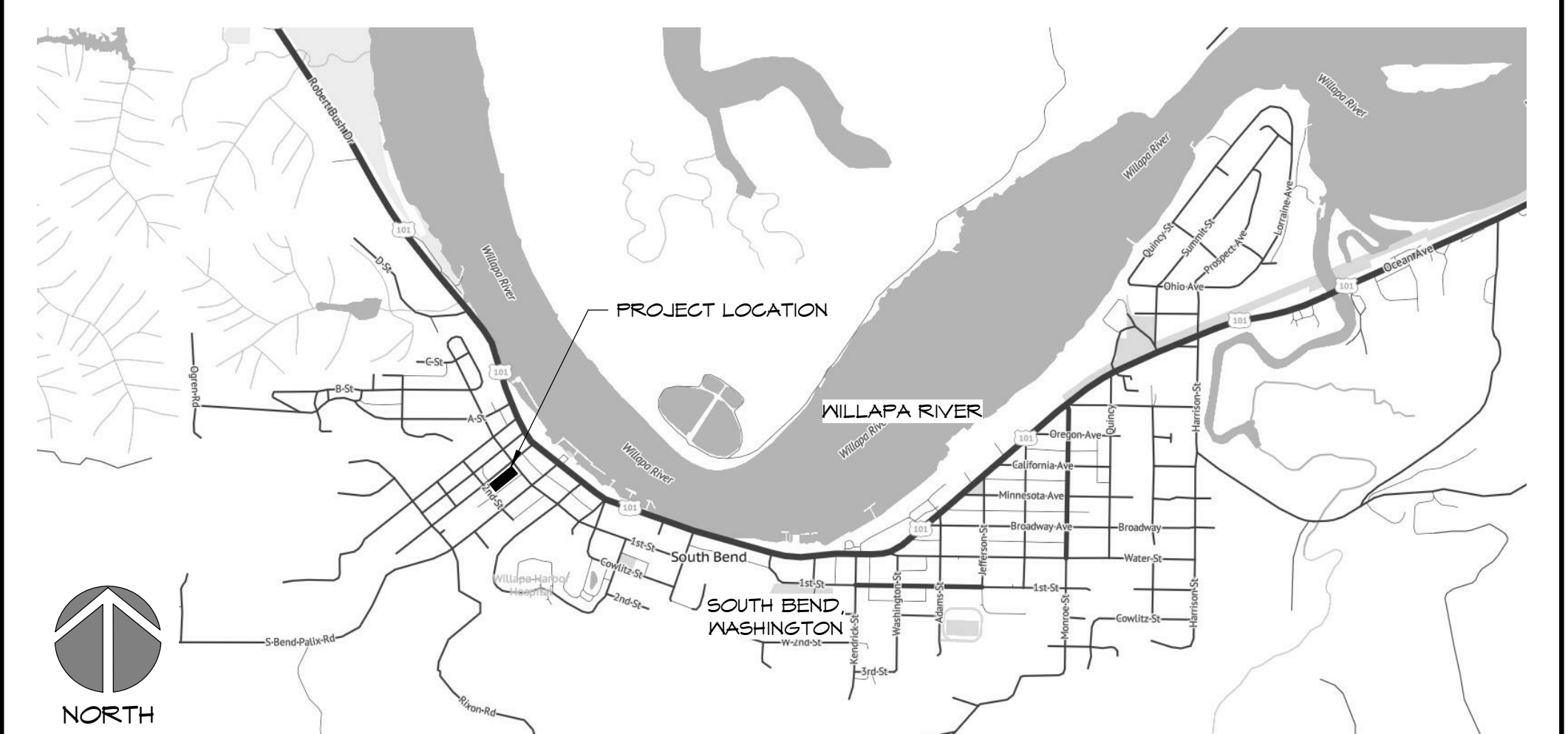
SCHEDULE OF ALTERNATES

- ALTERNATE NO. 1: REMOVE ALL TYPICAL UNIT LIGHTING FROM THE SCOPE OF WORK.
ALTERNATE NO. 2: REMOVE ALL COMMON AREA LIGHTING FROM THE SCOPE OF WORK.
ALTERNATE NO. 3: REMOVE ALL TUB TO WALK-IN SHOWER CONVERSIONS AT TYPICAL UNITS.
ALTERNATE NO. 4: REMOVE ALL TYPICAL UNIT COVE HEATERS FROM THE SCOPE OF WORK.
ALTERNATE NO. 5: REMOVE ALL 1ST FLOOR TYPICAL UNIT WINDOWS FROM THE SCOPE OF WORK.

WA STATE ENERGY CODE

WAC 51-11R WASHINGTON STATE ENERGY CODE, 2018 RESIDENTIAL, CHAPTER 5 (AND OTHER CHAPTERS WHERE APPLICABLE). NEW LIGHTING: >90% EFFICACY LIGHTING PER 2018 IMEC-R 404.1. NEAR REPLACEMENT VENTILATION: PER 2018 IMC, 403.4.2 & 403.3.1.1.

VICINITY MAP



WEATHERIZATION NOTES

- 1. SEAL AND CAULK AROUND ALL DOORS AND WINDOWS.
2. SEAL AND CAULK BETWEEN WALLS AND FOUNDATIONS.
3. PROVIDE NEW WEATHER STRIPPING AND SNEEPS ON ALL EXTERIOR DOORS.
4. SEAL AND CAULK ALL ACCESSIBLE PENETRATIONS IN THE EXTERIOR ENVELOPE.
5. SEAL AND CAULK ALL CEILING TO ATTIC PENETRATIONS.
6. EXTERIOR WALL CAVITIES OPENED DURING CONSTRUCTION SHALL BE INSULATED TO R-15 FOR 2x4 WALLS AND R-21 FOR 2x6 WALLS.
7. WINDOWS TO BE REPLACED SHALL HAVE A U VALUE OF 0.30 OR BETTER AND AN SHGC OF 0.4 OR BETTER.
8. NEW DUCTWORK IN ATTIC SHALL BE INSULATED TO R-8 IF THE EXISTING INSULATION IS LESS THAN R-4.
9. SEAL ALL FLOOR TO CRAWL SPACE PENETRATIONS.
10. INSULATE ALL CRAWL SPACE FLOORS TO R-30 MINIMUM, INCLUDING THE BACK OF CRAWL SPACE HATCHES. PROVIDE GASKETING AT CRAWL SPACE HATCHES.

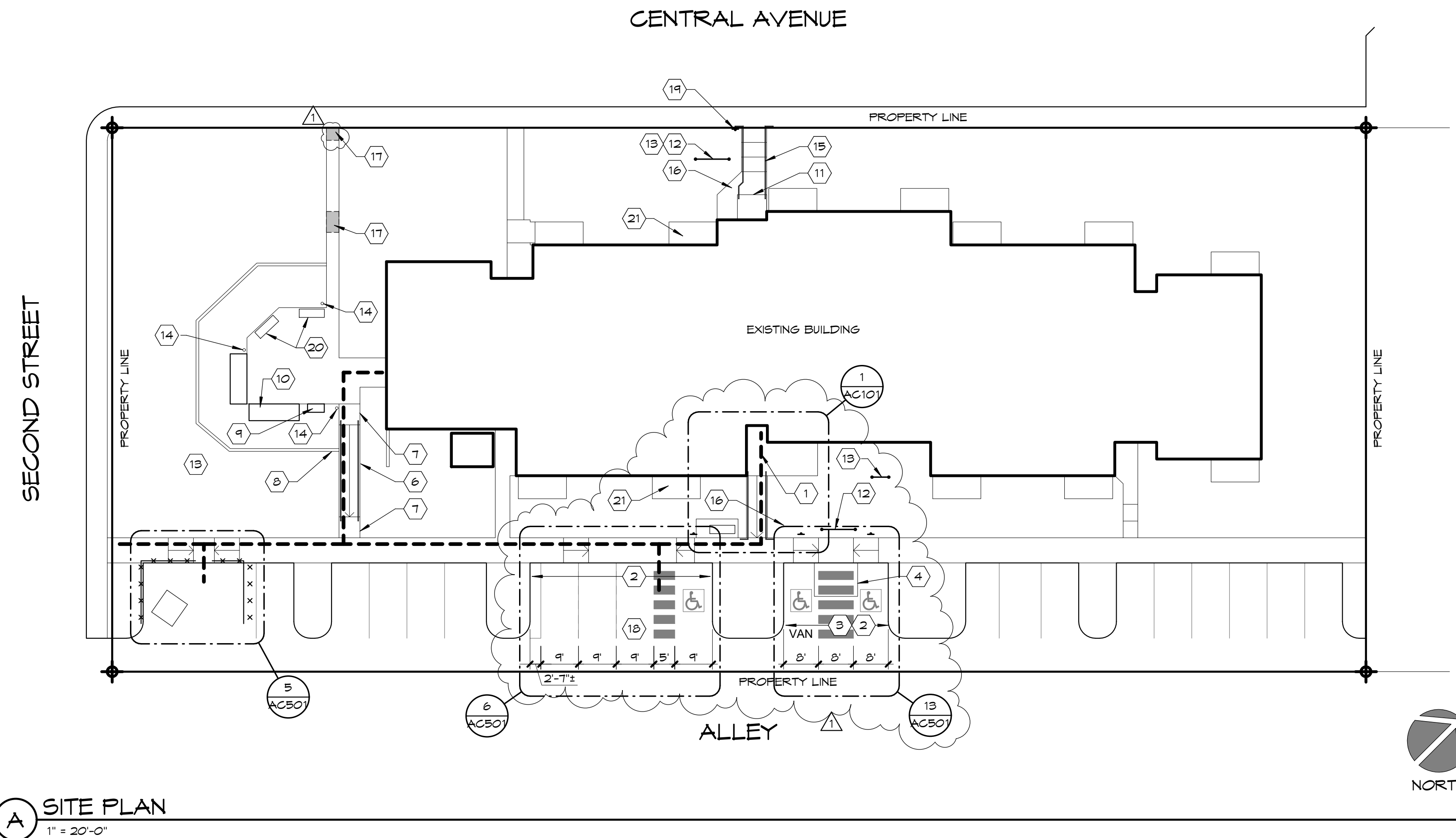
GENERAL INFORMATION: PACIFIC PLACE SOUTH BEND, WASHINGTON JOINT PACIFIC COUNTY HOUSING AUTHORITY.



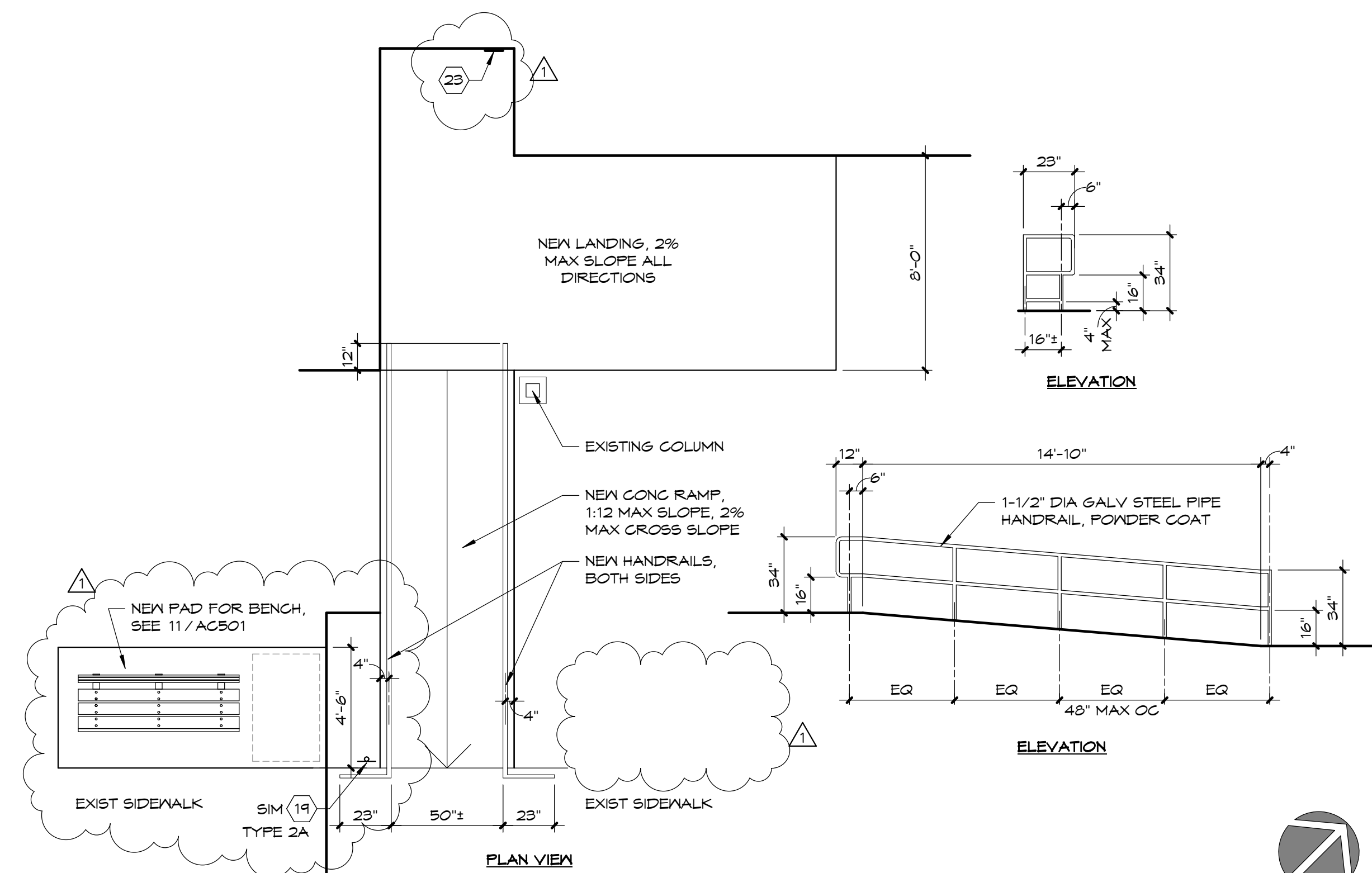
Project metadata table: PROJECT NO: 2039, DRAWN: RJB, CHECKED: SEMB, DATE: 01/29/2021, DRAWING NO: G101.

G101

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A SITE PLAN
1" = 20'-0"



1 SE MAIN ENTRY
1/4" = 1'-0"

SITE PLAN NOTES

1. INDICATES ACCESSIBLE PARKING STALL
2. ACCESSIBLE ROUTES (SIDEWALKS, CROSSWALKS, ETC) SHALL BE 5% MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE.
3. CURB RAMP SHALL BE 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE.
4. RAMP SHALL BE 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE. RAMP LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION & 30 FEET MAX BETWEEN LANDINGS
5. LANDINGS AT DOORS & STAIRS SHALL BE 2% MAX SLOPE IN ANY DIRECTION.
6. BRING ADJACENT GRADE UP TO NEAR-FLUSH CONDITION ALONG ALL NEW SIDEWALKS.

KEYED NOTES

- 1 ACCESSIBLE ROUTE INDICATED BY DASHED LINE. - - - - -
- 2 GRIND OFF EXISTING PARKING STRIPING & RESTRIPE, SEE 6 / AC501
- 3 SANDBLAST RED PAINT OFF EXISTING CURB
- 4 SAWCUT & REMOVE ASPHALT RAMP, REPLACE WITH NEW ASPHALT PAVING, SLOPE TO DRAIN
- 5 GRIND OFF EXISTING PARKING STRIPING, INCLUDING ACCESSIBILITY SYMBOL, RESTRIPE WITH TWO STALL LINES, EQUALLY SPACED PROVIDING 3 STALLS BETWEEN CURBS
- 6 PROVIDE NEW 60" WIDE CONC RAMP, 1:12 MAX SLOPE IN DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE. PROVIDE NEW HANDRAILS ALONG RAMP, SEE 8 / AC501
- 7 PROVIDE NEW RAMP LANDING, 60"x60" MIN, 2% MAX SLOPE IN ANY DIRECTION
- 8 RECONFIGURE EXISTING PRECAST BLOCK RETAINING WALL, REPLACE GRAVEL & SOD WITH LIKE AS NEEDED
- 9 REPLACE EXISTING RAISED GARDEN BED WITH NEW, SEE 10 / AC501
- 10 EXISTING RAISED GARDEN BEDS TO REMAIN
- 11 REPLACE EXISTING STEP AT DOOR WITH NEW 84"x12" STEP OF SAME HEIGHT. PROVIDE NEW HANDRAIL, SEE 8 / AC501
- 12 REPLACE EXISTING PROJECT SIGN WITH NEW, SEE 8 / AC501
- 13 REMOVE EXISTING PROJECT SIGN, POSTS, & POST BASES
- 14 REPLACE EXISTING LANDSCAPE LIGHTING w/ NEW, SEE ELECTRICAL
- 15 REMOVE EXISTING HANDRAIL. PROVIDE NEW HANDRAIL, SEE 8 / AC501
- 16 REMOVE EXISTING BENCH
- 17 REPLACE DAMAGED SECTION OF CONC, SEE SITE PLAN NOTE 2 ABOVE
- 18 LABEL STALL "STAFF ONLY" w/ 6" HIGH WHITE LETTERING
- 19 NEW ACCESSIBLE ACCESS DIRECTIONAL SIGN (TYPE 2B), MOUNT ON 72" HIGH POST, SEE 2 / A512
- 20 REPLACE EXISTING BENCH, SEE 11 / AC501
- 21 REPLACE PATIO, CONCRETE SHALL BE FLUSH w/ ADJACENT UNIT FLOOR, SLOPE TO DRAIN AWAY FROM BUILDING, AND BE 2% MAX SLOPE IN ALL DIRECTIONS
- 22 NEW NON-ACCESSIBLE GARDEN BED TO MATCH EXISTING - CONSTRUCT WITH ROUGH-SAWN JUNIPER OR CEDAR
- 23 NEW ACCESSIBLE ACCESS SIGN (TYPE 2A), MOUNT NEXT TO DOOR SEE 2 / A512

ZBA ARCHITECTURE

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NO.	DATE	BY
1	3/4/21	RJB

NO.	DATE	BY

ARCHITECTURAL SITE PLAN

PACIFIC PLACE

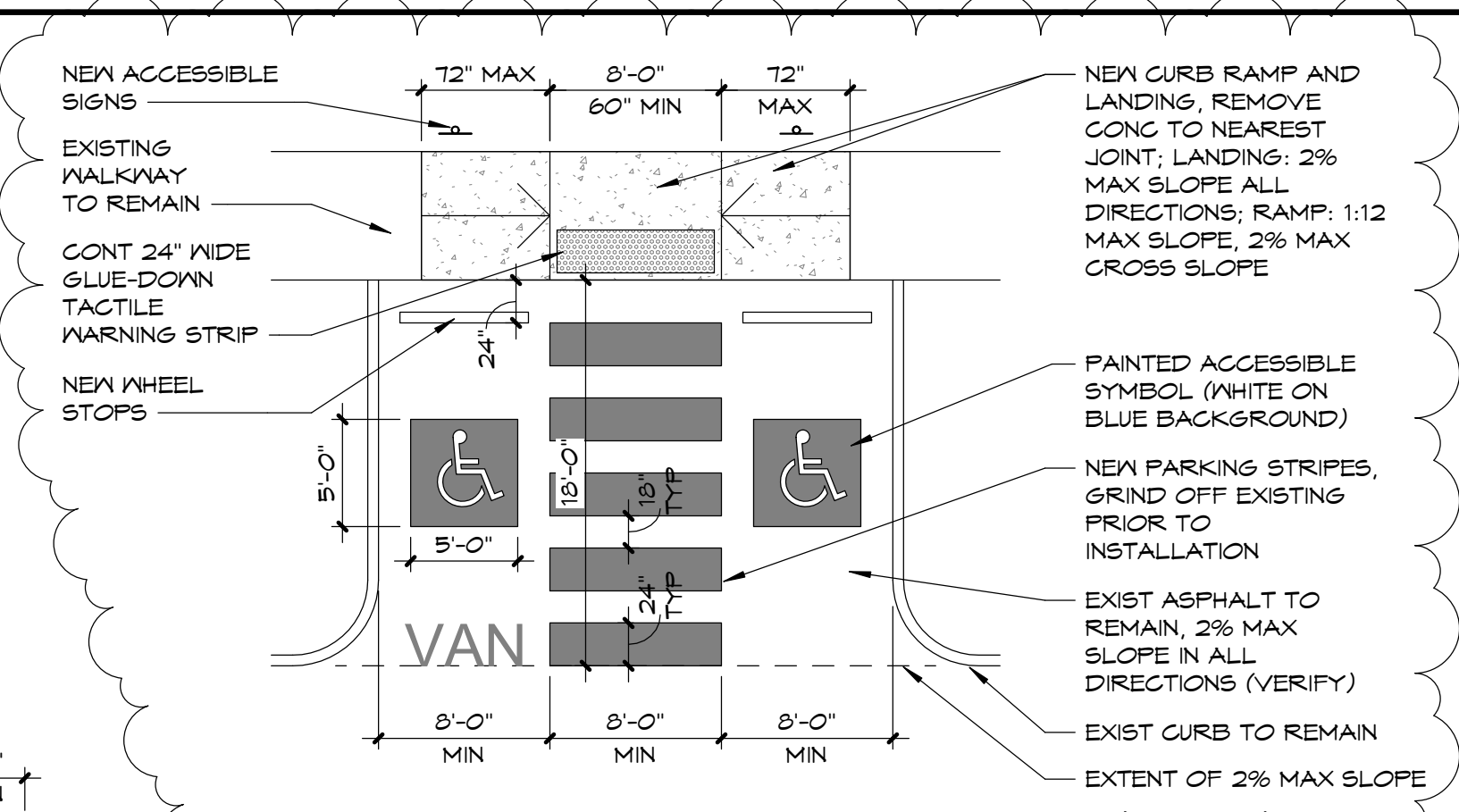
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

REGISTERED ARCHITECT

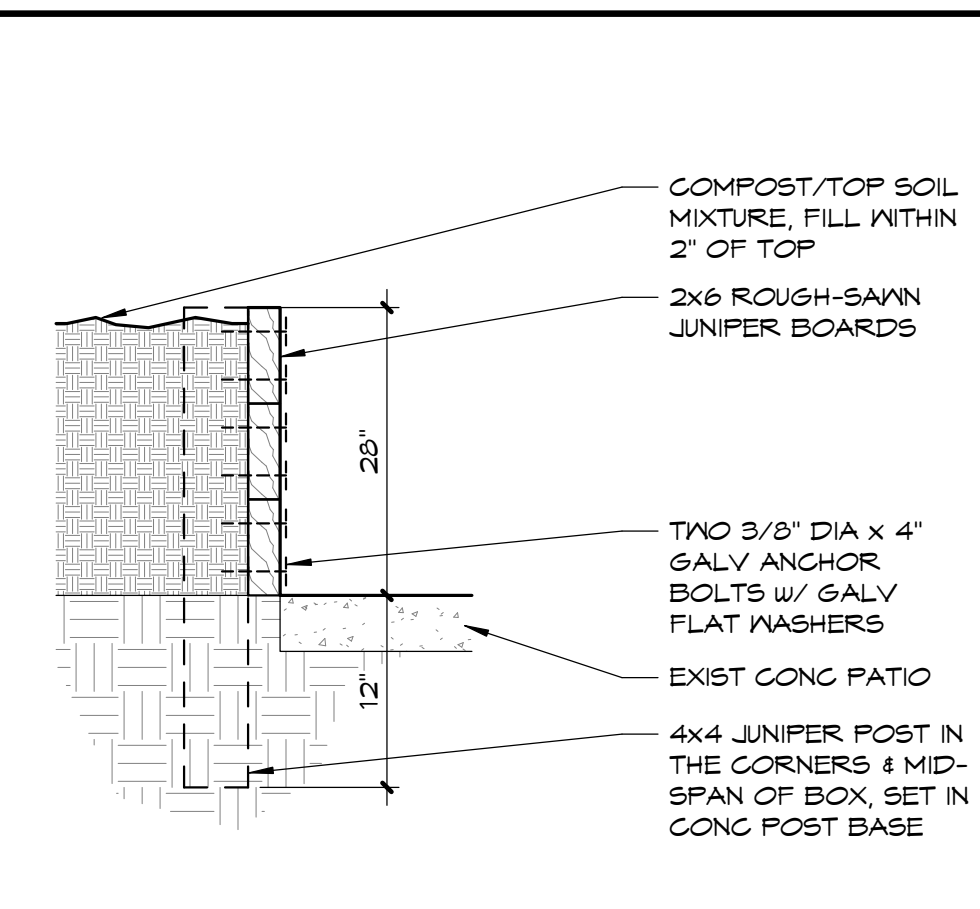
MARK S. KING
STATE OF WASHINGTON

PROJECT NO.	2034
DRAWN:	RJB
CHECKED:	SEMB
DATE:	01/29/2021

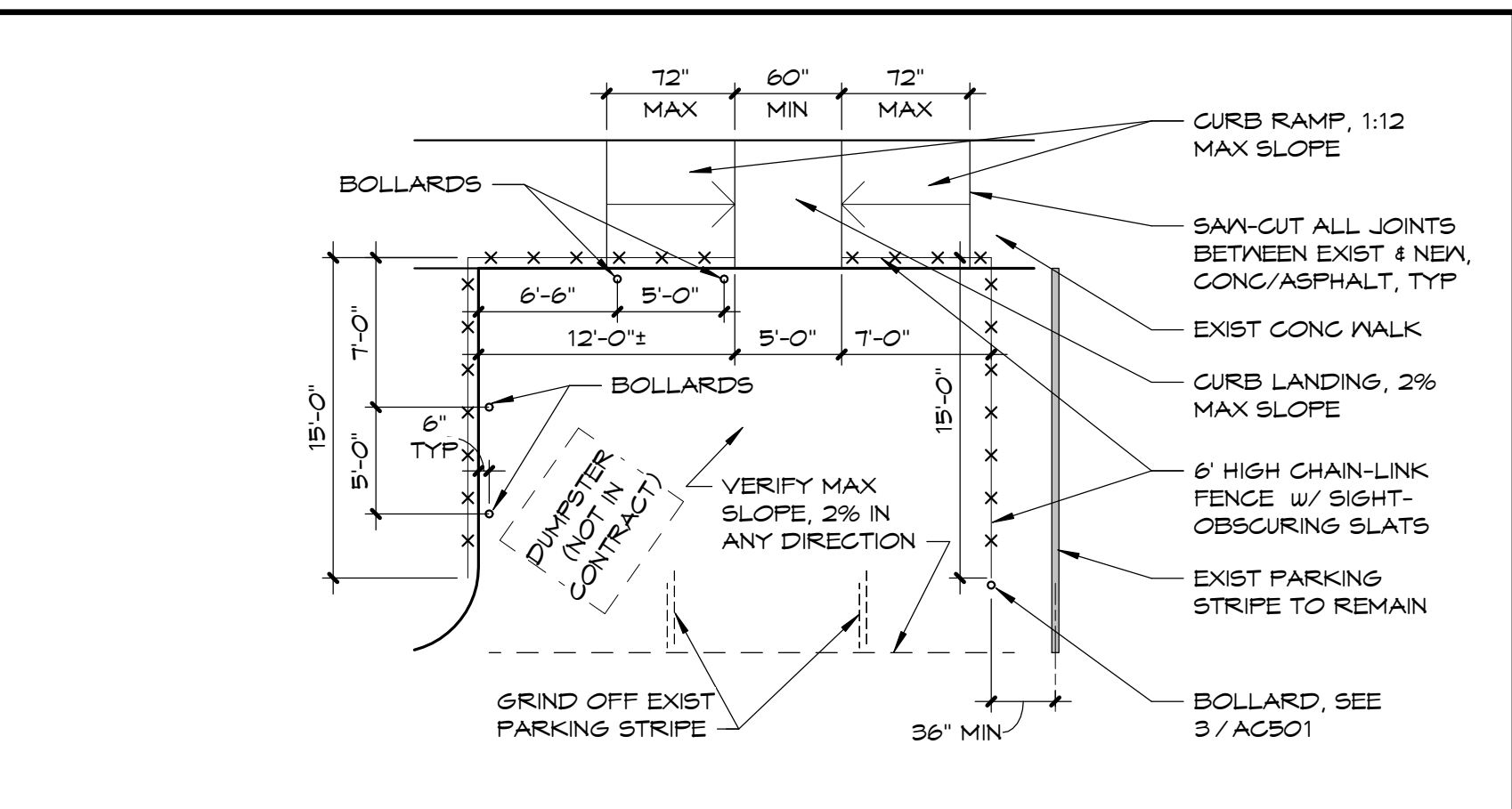
AC101



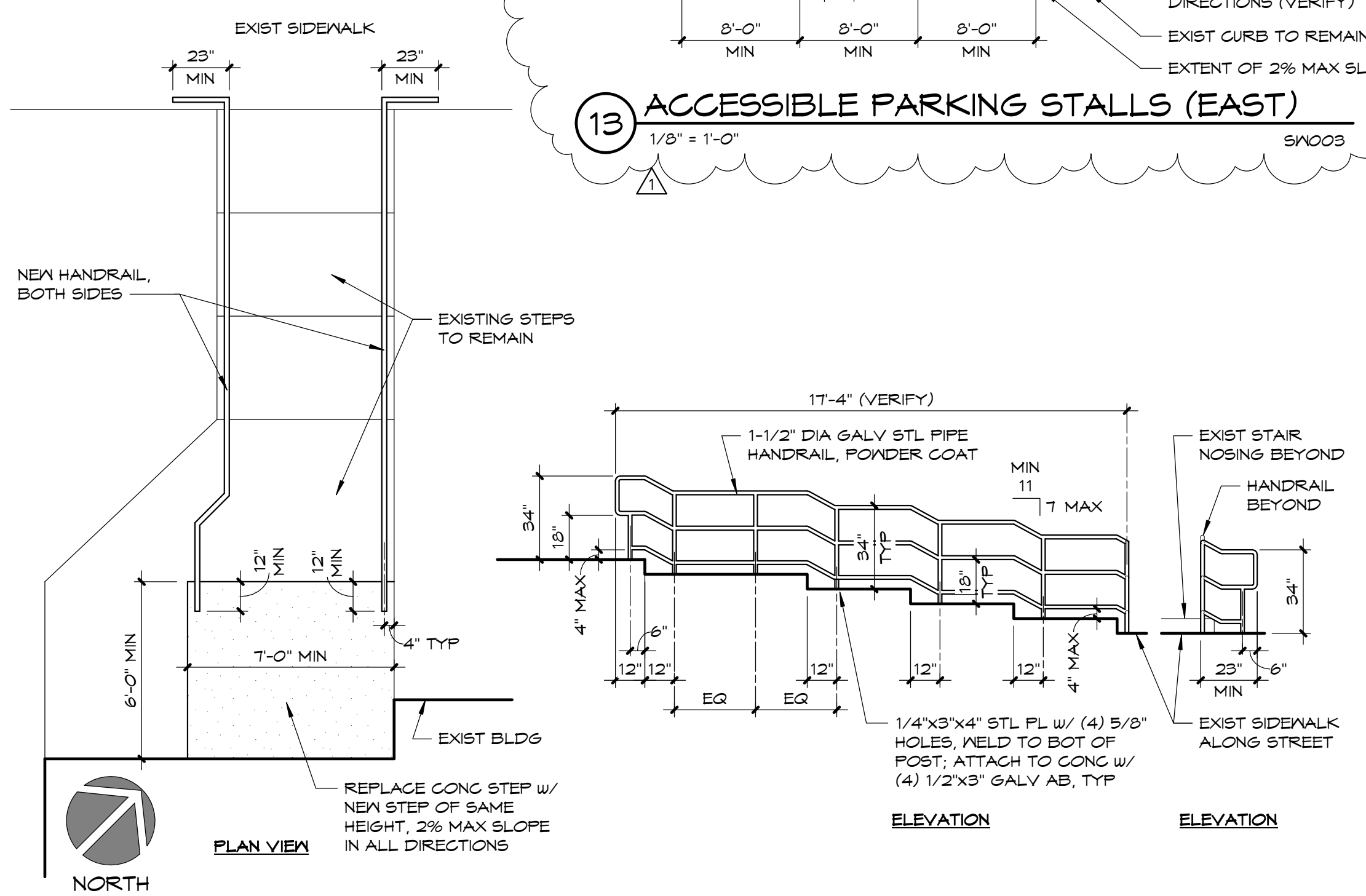
13 ACCESSIBLE PARKING STALLS (EAST)
1/8" = 1'-0" S/A003



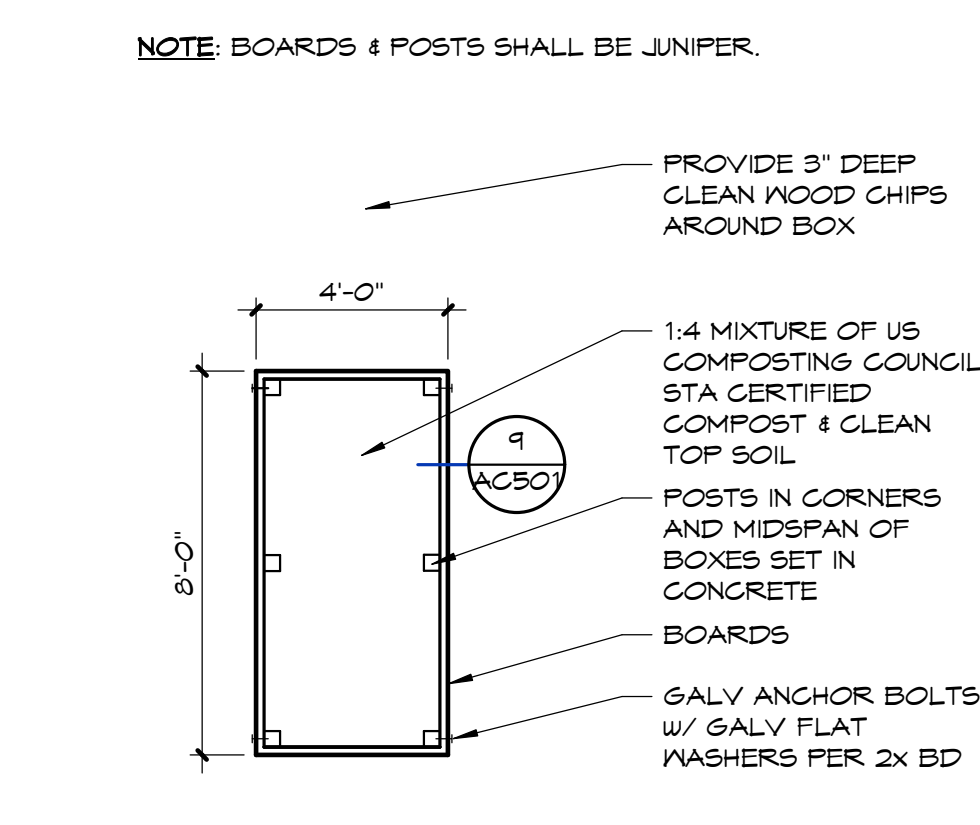
9 RAISED PLANTER BOX SECTION
1" = 1'-0" S/A020



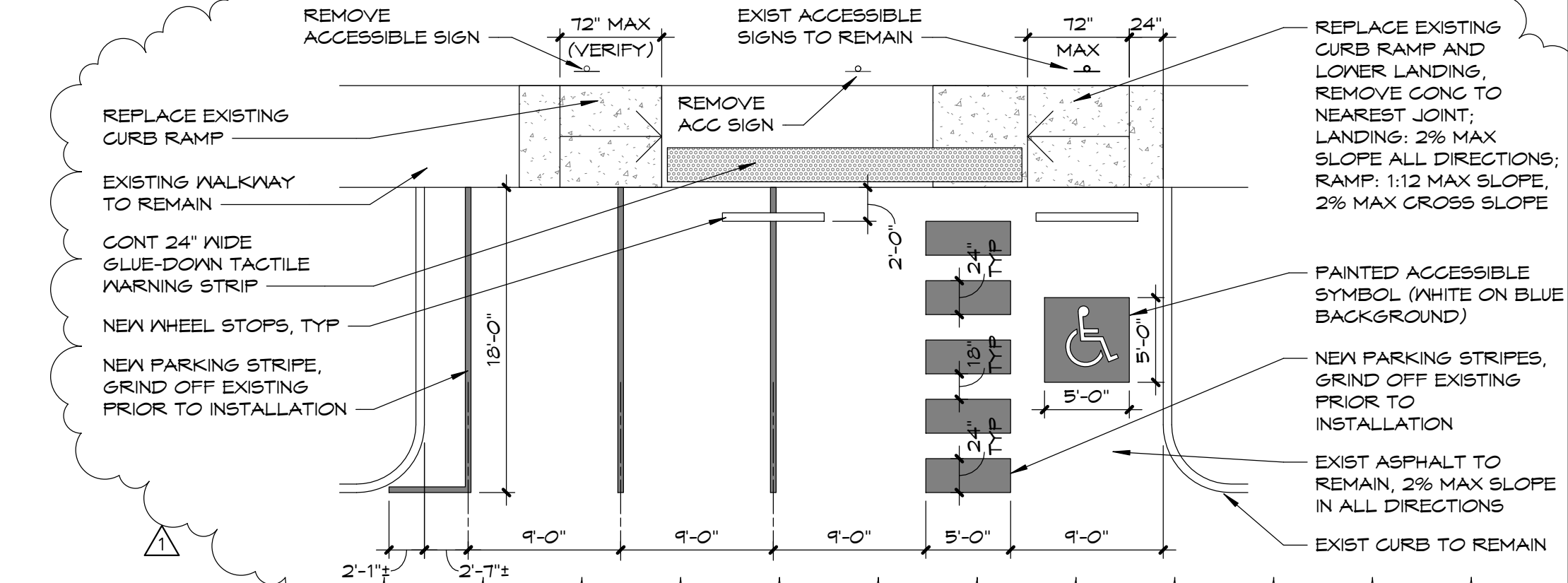
5 TRASH ENCLOSURE
1/8" = 1'-0" S/A002



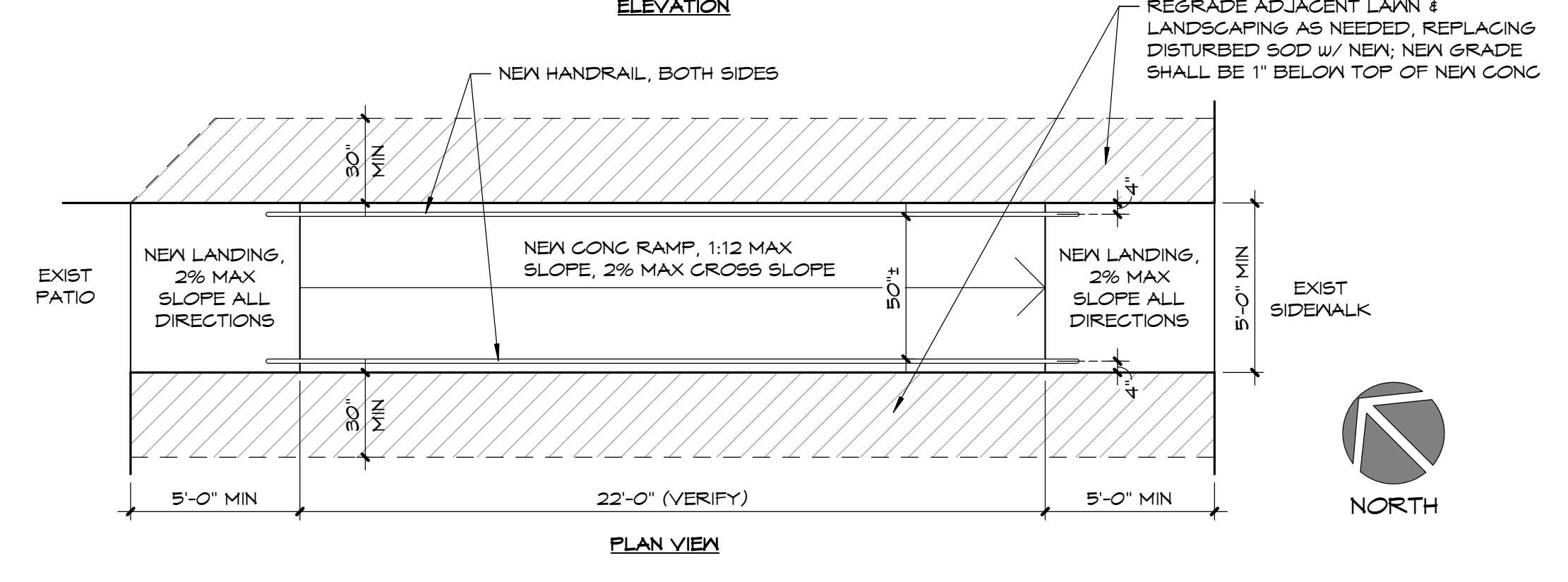
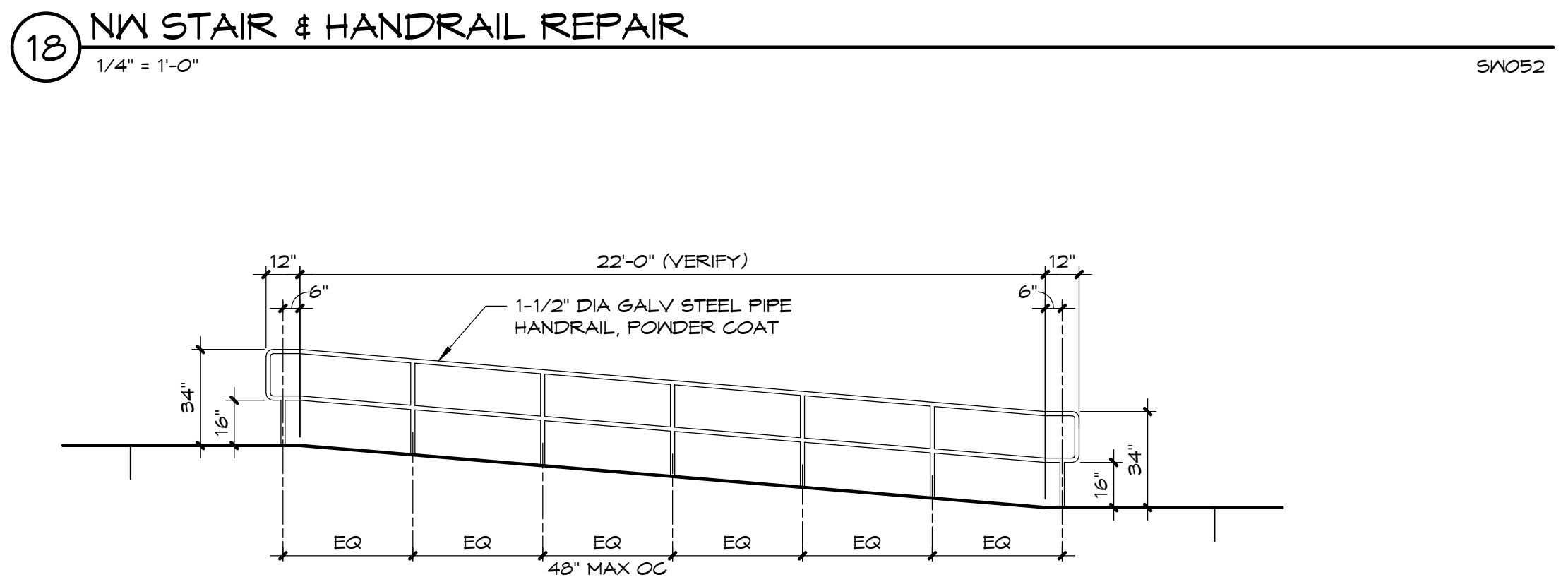
18 NW STAIR & HANDRAIL REPAIR
1/4" = 1'-0" S/A052



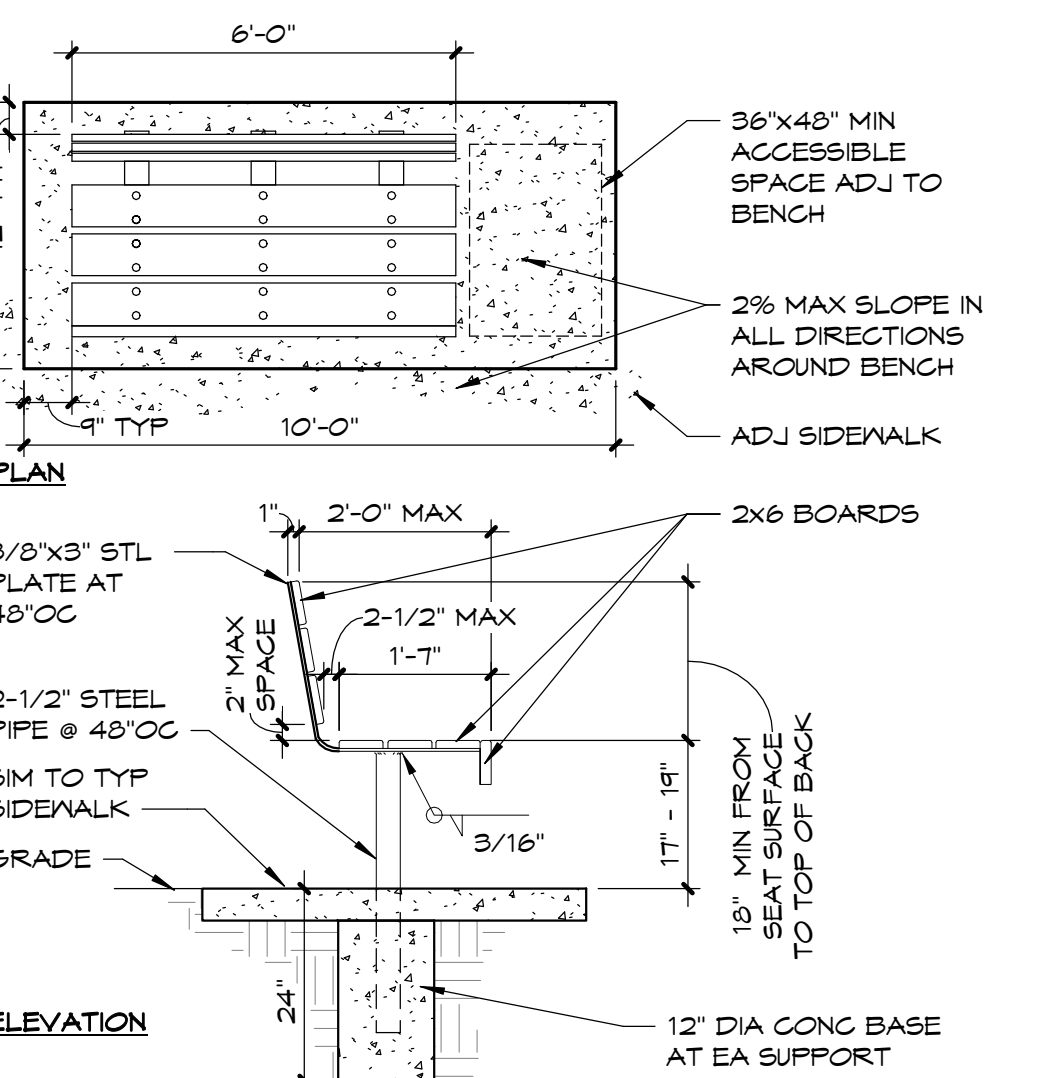
10 RAISED PLANTER BOX PLAN
1/4" = 1'-0" S/A021



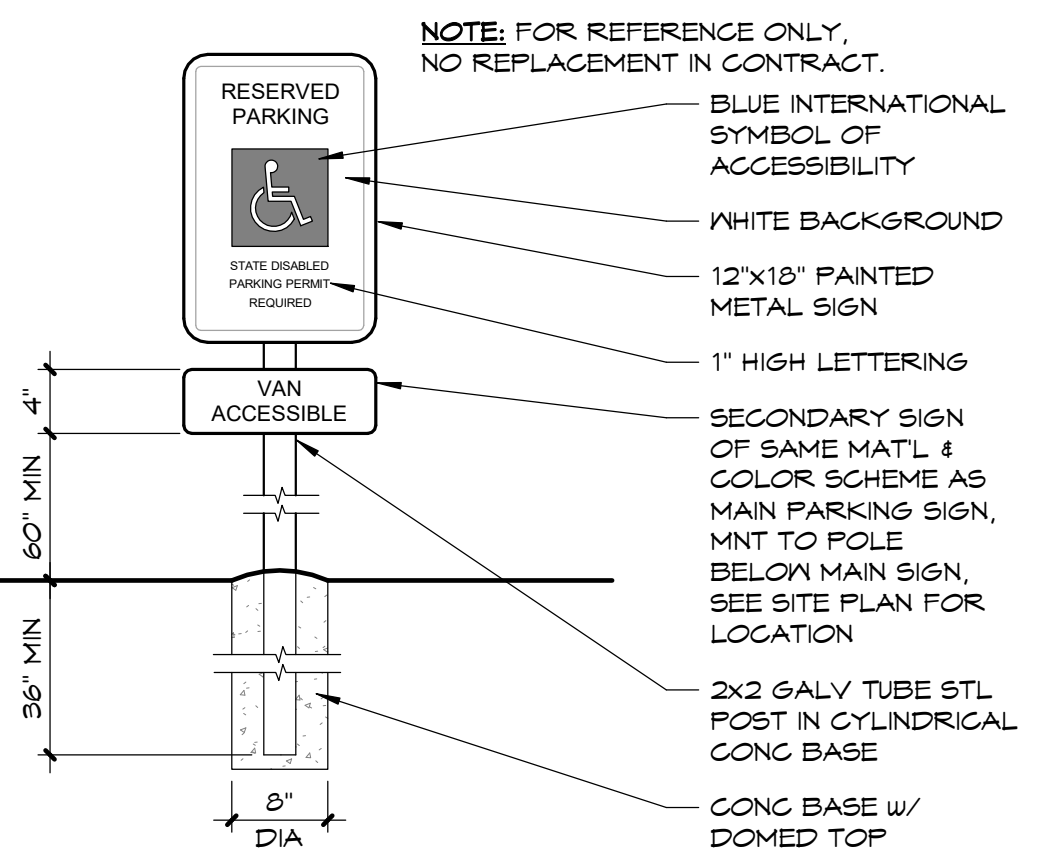
6 ACCESSIBLE PARKING STALLS (WEST)
1/8" = 1'-0" S/A001



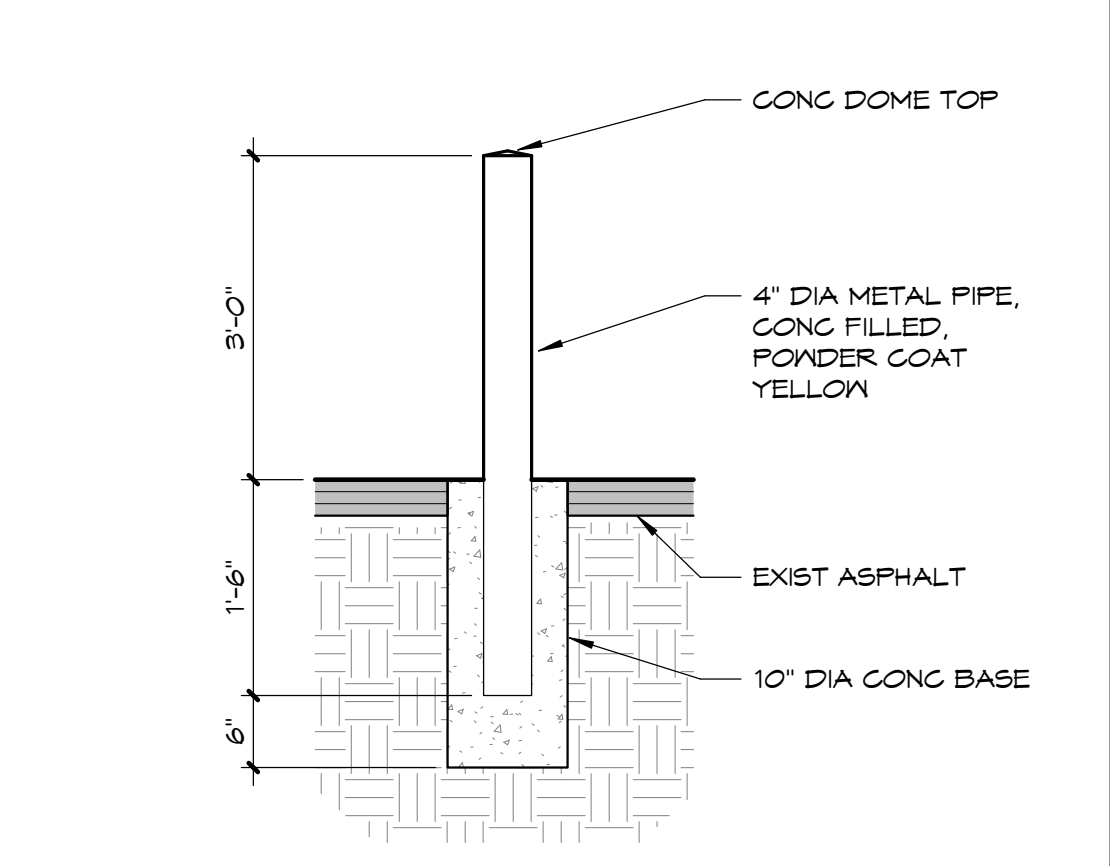
20 NEW PATIO RAMP
1/4" = 1'-0" S/A051



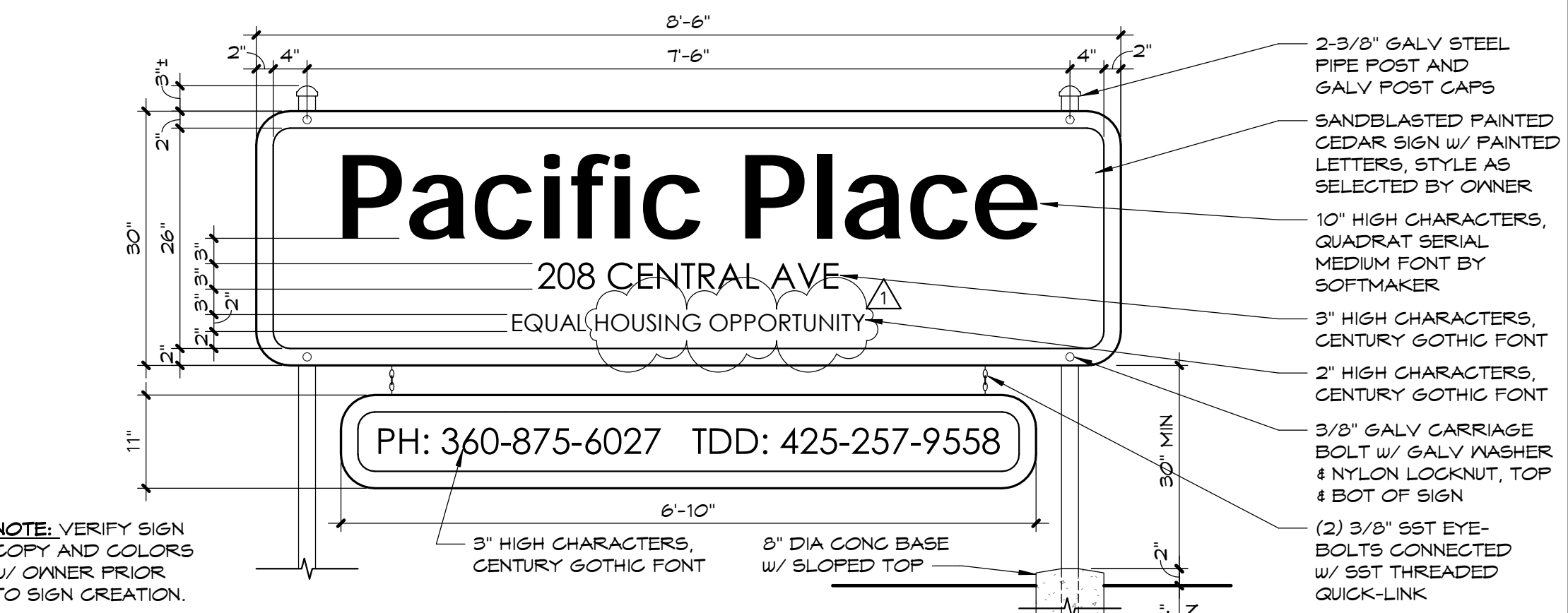
11 BENCH
1/2" = 1'-0" S/A016



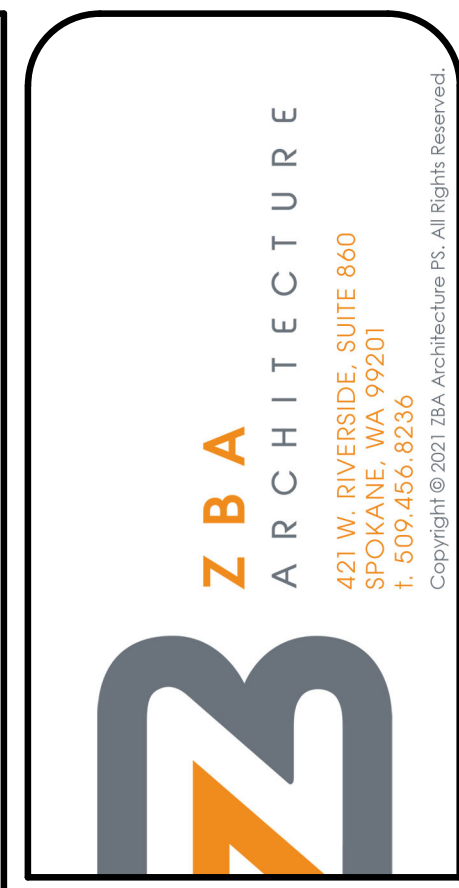
7 ACC PARKING SIGN
1" = 1'-0" S/A005



3 BOLLARD
3/4" = 1'-0" S/A011



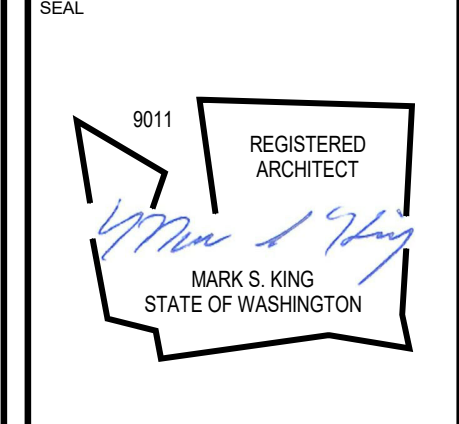
8 PROJECT SIGN
3/4" = 1'-0" S/A006



NO.	DATE	BY
1	3/4/21	RJB

NO.	DATE	BY

SITE DETAILS
PROJECT TITLE
PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

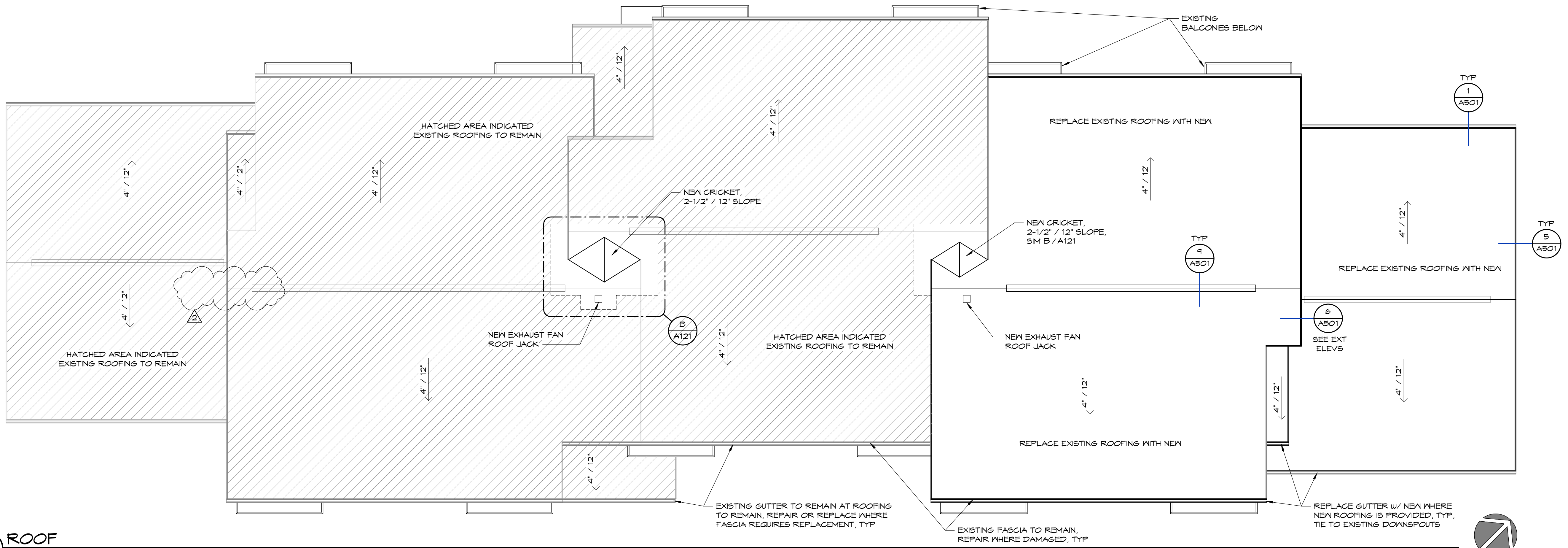


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DRAWN: RJB
CHECKED: SEMB
DATE: 01/29/2021
DRAWING NO.

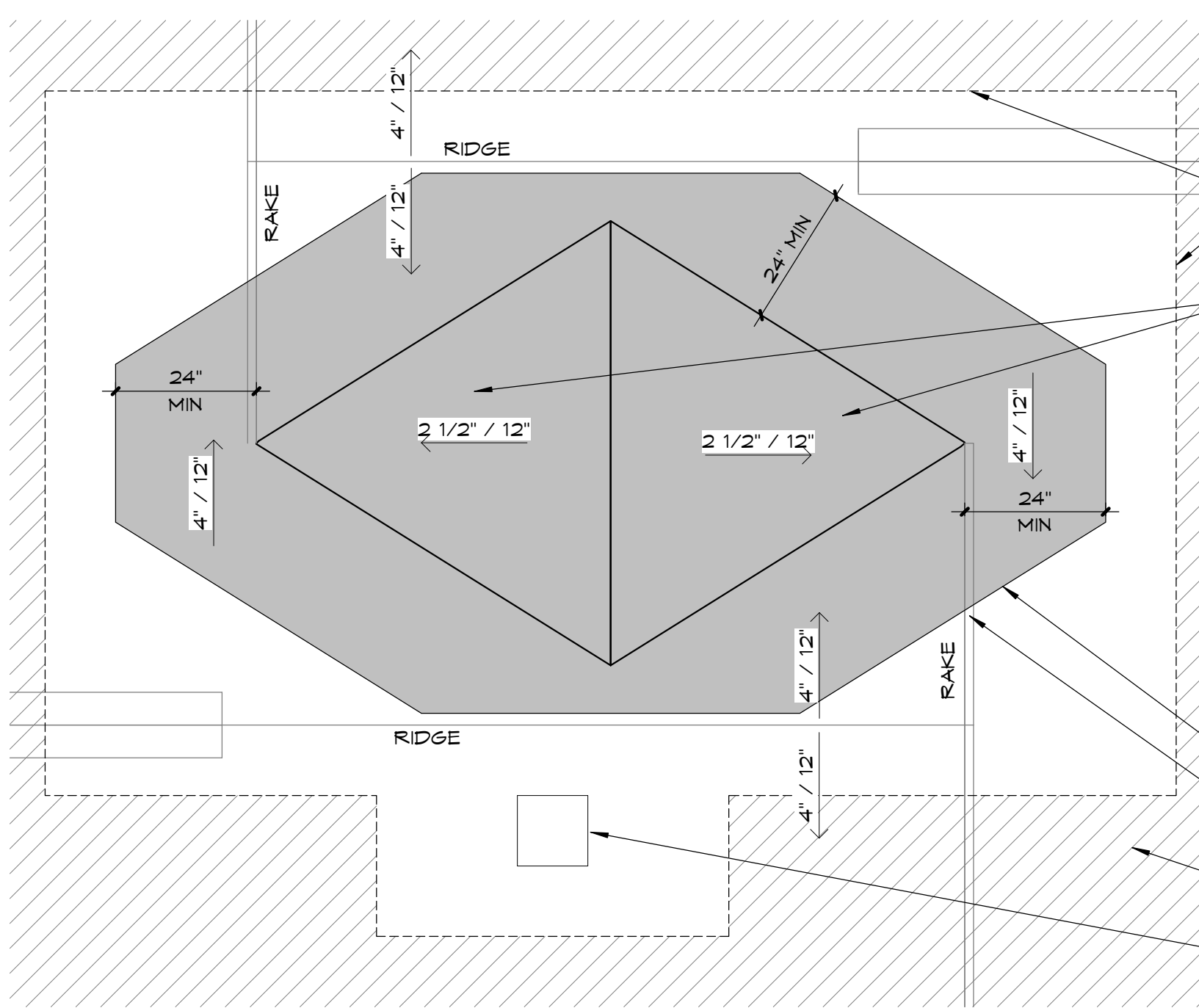
AC501

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A ROOF
1/8" = 1'-0"



B ENLARGED ROOF AT CRICKET
1/2" = 1'-0"

- GENERAL NOTES**
- REFER TO ROOFING, SIDING AND TRIM DETAILS ON A501
 - NOTIFY ARCHITECT IF AREAS NOTED AS "NO ROOFING WORK" ARE DAMAGED AND NEED REPAIR
 - REMOVE EXISTING ROOFING & UNDERLAYMENT WHERE NEW ROOFING IS INDICATED, EXISTING ROOF DECKING TO REMAIN
 - REPLACE ROOF DECKING WHERE DAMAGED
 - PROVIDE NEW ROOFING, ROOFING UNDERLAYMENT, SELF-ADHESIVE ICE DAM PROTECTION MEMBRANE, METAL DRIP EDGE AND FLASHING IN AREAS INDICATING NEW ROOFING
 - PROVIDE NEW RIDGE VENT & VTR FLASHING
 - REPLACE ALL EXISTING ROOF JACKS AT AREAS RECEIVING NEW ROOFING (NOT SHOWN)
 - EXISTING 2X FASCIA W/ 1X TRIM FASCIA TO REMAIN, PAINT, REPAIR OR REPLACE AS NEEDED, REPLACEMENT ESTIMATED TO BE LESS THAN 5%
 - REPLACEMENT GUTTERS & DOWNSPOUTS SHALL BE SAME SIZE AND LENGTH AS EXISTING
 - ALL METAL FLASHING, DRIP EDGES, GUTTERS AND DOWNSPOUTS SHALL BE PREFINISHED METAL W/ GALVANIZED OR STAINLESS STEEL FASTENERS
 - METAL ROOF FLASHING/DRIP EDGE SHALL BE PAINTED TO MATCH MATERIAL BENEATH
 - NEW ROOFING SHALL MATCH EXISTING ROOFING COLORS

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NO.	DATE	BY
2	3/5/21	PD

REVISIONS

PROJECT TITLE: PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

REGISTERED ARCHITECT
MARK S. KING
STATE OF WASHINGTON

PROJECT NO.	2034
DRAWN	RJB
CHECKED	SEMB
DATE	01/29/2021
DRAWING NO.	A121


GENERAL NOTES

1. PAINT BUILDING EXTERIOR, INCLUDING TRIM, SIDING, FASCIA, ETC.
2. REPLACE ALL EXTERIOR SLIDING GLASS DOORS (BID ALTERNATE)
3. REPLACE ALL EXTERIOR WINDOWS (BID ALTERNATE)
4. REPAIR BALCONIES, TYP. SEE 11 / A501 & 12 / A501

KEYED EXT ELEV NOTES

- ① REPAIR SIDING, SEE 6 / A501
- ② REPLACE ROOFING, SEE A121

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REVISIONS		
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1	3/4/21	RJB



① EXTERIOR ELEVATION - NORTHWEST
 1/8" = 1'-0"



② EXTERIOR ELEVATION - SOUTHWEST
 1/8" = 1'-0"



③ EXTERIOR ELEVATION - NORTHEAST
 1/8" = 1'-0"



④ EXTERIOR ELEVATION - SOUTHEAST
 1/8" = 1'-0"

EXTERIOR ELEVATIONS

PACIFIC PLACE
 SOUTH BEND, WASHINGTON
 JOINT PACIFIC COUNTY HOUSING AUTHORITY

SHEET TITLE

SEAL

9011 REGISTERED ARCHITECT

 MARK S. KING
 STATE OF WASHINGTON

PROJECT NO.	2034
DRAWN:	RJB
CHECKED:	SEMB
DATE:	01/29/2021

DRAWING NO.

A201

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MAX (FT) PIPE RUNS FROM HOT WATER SOURCE

TYPE	3/8"	1/2"	3/4"	1"
K COPPER	75	45	22	12
L COPPER	60	40	20	12
M COPPER	60	40	18	11
CPVC	N/A	50	24	15
PEX	45	50	26	16

EFFICIENT PLUMBING NOTES

- TO MINIMIZE HOT WATER LOSS, THE HOT WATER DELIVERY SYSTEM SHALL STORE NO MORE THAN 0.5 GALLONS OF WATER IN ANY PIPING/MANIFOLD BETWEEN THE HOT WATER SOURCE & ANY HOT WATER FIXTURE.
- HOT WATER TANKS MUST HAVE HEAT TRAPS INSTALLED ON HOT & COLD LINES & 1" INSULATION ON THE FIRST 5' OR FIRST PENETRATION FOR HOT & COLD LINES.
- RECIRCULATION SYSTEMS MUST HAVE BOTH TEMPERATURE & DEMAND CONTROLS. RECIRC LOOP MUST BE FULLY INSULATED WITH FOAM INSULATION OF AT LEAST EQUAL THICKNESS TO THE NOMINAL DIAMETER OF THE PIPE, BUT NO MORE THAN 2" PIPING RUNNING FROM THE HOT WATER SOURCE

KEYED NOTES

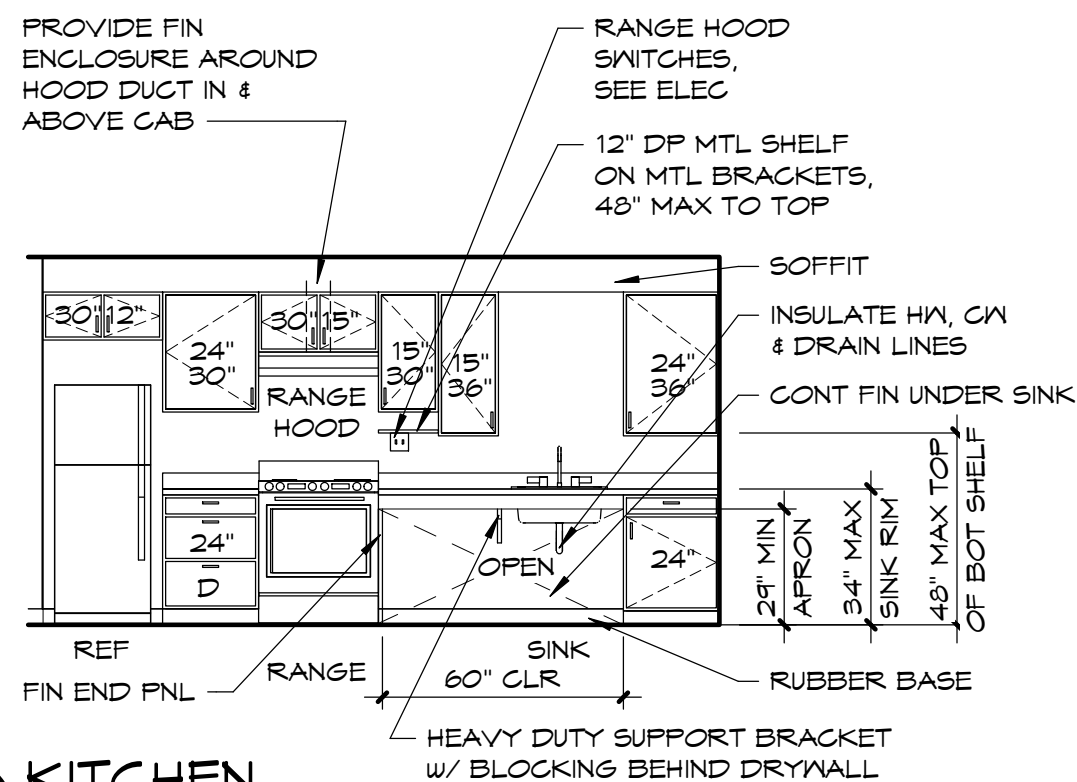
- NEW FLOOR FINISHES, SEE FINISH LEGEND
- EXISTING FLOORING TO REMAIN
- NEW COUNTERTOP & CABINETS
- NEW SINK/LAV & FAUCET
- NEW WALL-HUNG LAV
- INSULATE HW, CW, & DRAIN LINES
- NEW WATER CLOSET
- REPLACE TUB W/ SHWR & SURROUND, SEE UNIT MATRIX
- NEW 24" TOWEL BAR
- NEW TOWEL RING
- NEW GRAB BARS, SIZE PER ELEV
- NEW TOILET PAPER DISPENSER
- NEW LIGHT FIXTURE, SEE INTERIOR ELEVATIONS & ELECTRICAL PLANS
- NEW MIRROR, 24"x36", 40" MAX AFF TO BOT OF REFLECTIVE SURFACE
- BLIND CORNER CABINET
- NEW SHOWER ROD
- INSTALL NEW RANGE
- NEW RANGE HOOD
- CONCEAL RANGE HOOD DUCT IN CABINET, EXTEND GYP BD TO CEILING TO CONCEAL DUCTING ABOVE CABINETS
- NEW REFRIGERATOR
- NEW DOOR, SIZE PER DOOR SCHEDULE
- NEW DOOR FRAME
- NEW WATER HEATER
- REPLACE EXISTING ELECTRIC BASEBOARD HEATER WITH COVE HEATER
- NEW WALL, 2x4 STUDS AT 16" OC W/ GYP BD EA SIDE, TYP
- PROVIDE SECOND DOOR VIEWER AT ACCESSIBLE UNITS, SEE 4/A601
- NEW BASE, TYP SEE FINISH LEGEND
- NEW ADJUSTABLE SHOWER HEAD W/ 24" SLIDE BAR
- INFILL NEW WALL, MATCH EXIST FRAMING & GYP BD
- NEW OFFICE SIGN, SEE 3/A512 & 6/A511
- WATER HEATER, SEE UNIT MATRIX
- NEW 12" DEEP METAL SHELF ON METAL BRACKETS, 48" MAX TO TOP
- NEW WINDOW OR RELIGHT, SIZE PER PLAN
- NEW SOAP DISPENSER
- NEW SURFACE MOUNT PAPER TOWEL DISPENSER
- NEW TUB/SHWR SEAT
- NEW RANGE HOOD FAN SWITCH & RANGE HOOD LIGHT SWITCH
- FINISHED END PANEL, TYP
- PROVIDE 2X BLOCKING BETWEEN STUDS
- NEW WINDOW TREATMENT
- NEW ROBE HOOK, 48" MAX TO TOP
- (5) NEW SHELVES
- REINSTALL ROD & SHELF, SEE 4/A511
- NEW SIGN, SEE 1/A512
- RELOCATE INTERCOM
- NEW RANGE HOOD
- NEW ORANGE PEEL CEILING TEXTURE IN ENTIRE ROOM
- EXISTING POPCORN CEILING TO REMAIN
- NEW DBL 2x6 HEADER
- MAINTAIN EXISTING BEAM, WRAP W/ 5/8" TYPE X GYPSUM BOARD ON ALL SIDES IF EXPOSED DURING CONSTRUCTION
- NEW ELECTRICAL PANEL

NOTES

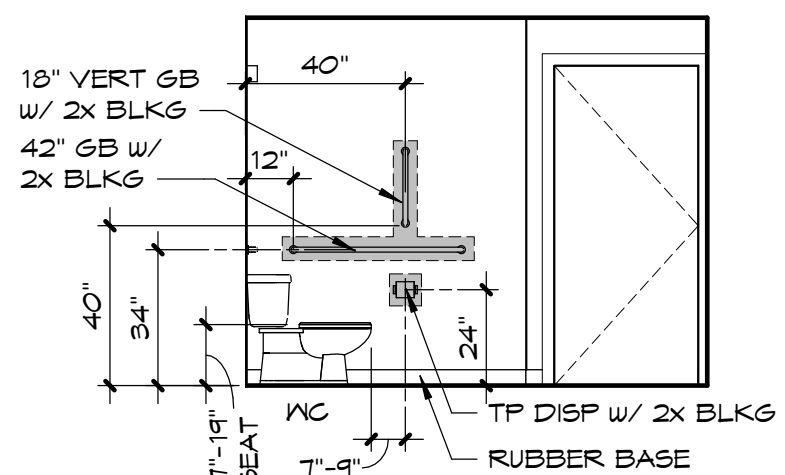
- CLOSET FINISHES SHALL BE THE SAME AS ADJACENT ROOM.
- AT INTERIOR ELEVATIONS: SF = SINK FRONT, SB = SINK BASE, D = DRAWER, T = TRAY
- PROVIDE FINISHED END PANELS ON ALL CABINETS AND COUNTERTOPS THAT DO NOT ABUT A WALL.
- VERIFY LOCATION OF EXHAUST VENTS AT EXTERIOR WALLS AND LOCATE ALL OPERABLE WINDOW SASHES 3'-0" MIN FROM EXHAUST OUTLETS.
- NO PIPING, DUCTS, WASHER BOXES, OR ITEMS OTHER THAN APPROVED WIRING DEVICES SHALL BE INSTALLED IN PARTY WALLS.
- ALL WATER PIPING IS TO RUN IN INTERIOR WALLS AND/OR JOIST SPACE BETWEEN FLOORS. NO PIPING SHALL BE RUN IN EXTERIOR WALLS AND/OR ATTIC SPACE.
- AT CLOSETS: R&S = ROD AND SHELF, SEE 4/A511
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES PRIOR TO INSTALLATION
- ITEMS TO REMAIN IN UNIT MATRIX ON A601 SHALL BE PROTECTED
- PAINT ALL INTERIOR WALLS & CEILING AT ACCESSIBLE UNITS; PAINT WALLS/CEILING WHERE WORK IS PERFORMED AT TYPICAL UNITS
- REPAIR, PATCH, & PAINT CEILINGS WHERE WORK IS PERFORMED. MATCH EXISTING CEILING TEXTURE AND PAINT ENTIRE CEILING IN ROOM WITH TEXTURE WORK, UNLESS OTHERWISE NOTED.
- SEE UNIT MATRIX ON A601 FOR WORK IN UNITS ON A UNIT-BY-UNIT BASIS.
- SEE A601 FOR ROOM FINISH AND DOOR SCHEDULES
- ALL SECOND FLOOR REPLACEMENT WINDOWS WITH AN OPENING BELOW 36" ABOVE THE FINISHED FLOOR SHALL HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F2090 AND ALLOWING FOR EMERGENCY EGRESS
- ALL OPERABLE WINDOWS IN COMMON AREAS AND ACCESSIBLE UNITS SHALL BE ACCESSIBLE. OPERABLE WINDOW HANDLES & LATCHES SHALL BE LEVER-STYLE & 48" MAX TO TOP OF DEVICE. LATCHES SHALL ACTIVATE WITH 5 LBF OF LESS.

DEMO NOTES

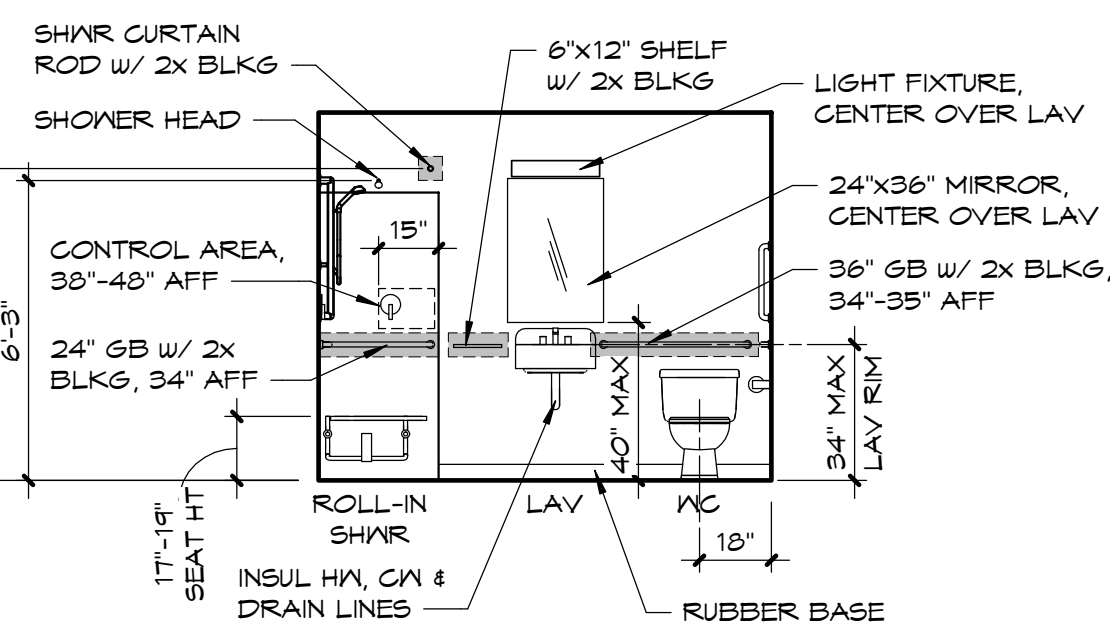
- REMOVE FLOOR FINISHES
- REMOVE CABINETS & COUNTERTOP
- REMOVE SINK/LAV
- REMOVE WATER HEATER
- REMOVE RANGE & RANGE HOOD
- REMOVE REFRIGERATOR
- REMOVE ALL BATH ACCESSORIES (TOWEL BARS, SHOWER ROD, TP DISP, ETC.)
- REMOVE TUB/SHOWER, SEE UNIT MATRIX
- REMOVE WINDOW
- REMOVE HEATER
- REMOVE DOOR & DOOR HARDWARE, FRAME TO REMAIN
- REMOVE WALL
- REMOVE DOOR, DOOR HARDWARE, AND DOOR FRAME
- REMOVE BASEBOARD HEATERS
- REMOVE ALL GRAB BARS
- REMOVE ROD & SHELF, STORE FOR REINSTALLATION
- ELEC PANEL TO REMAIN
- REMOVE EXIST AC UNIT
- REMOVE WATER CLOSET
- REMOVE DISHWASHER
- REMOVE SIGN
- RELOCATE INTERCOM
- REMOVE RANGE HOOD



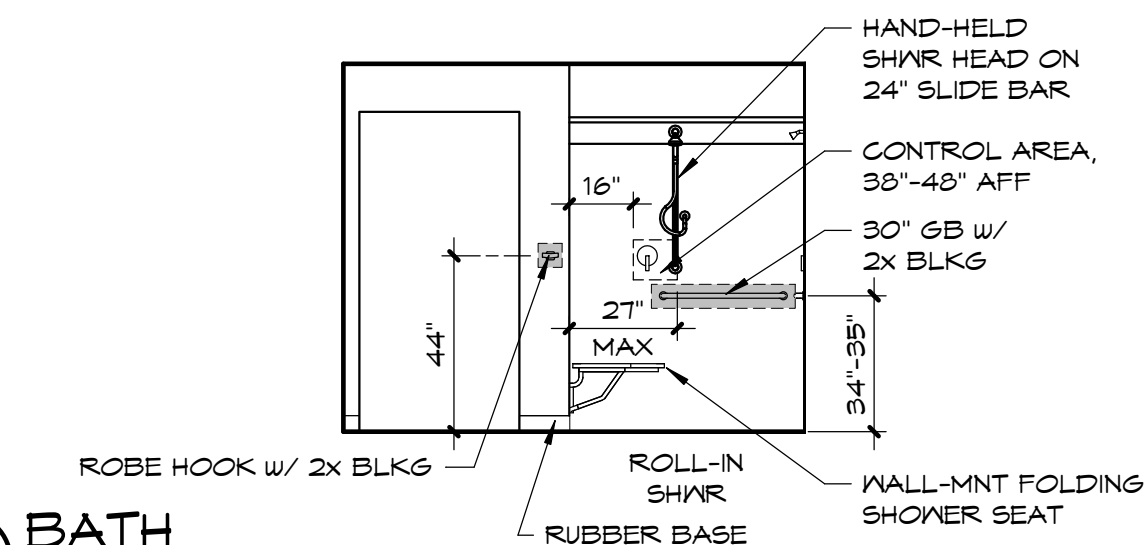
1 KITCHEN
1/4" = 1'-0"



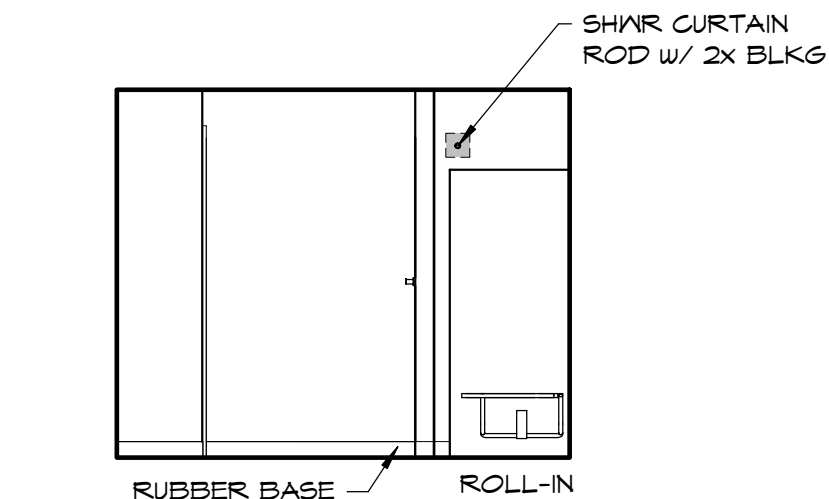
2 BATH
1/4" = 1'-0"



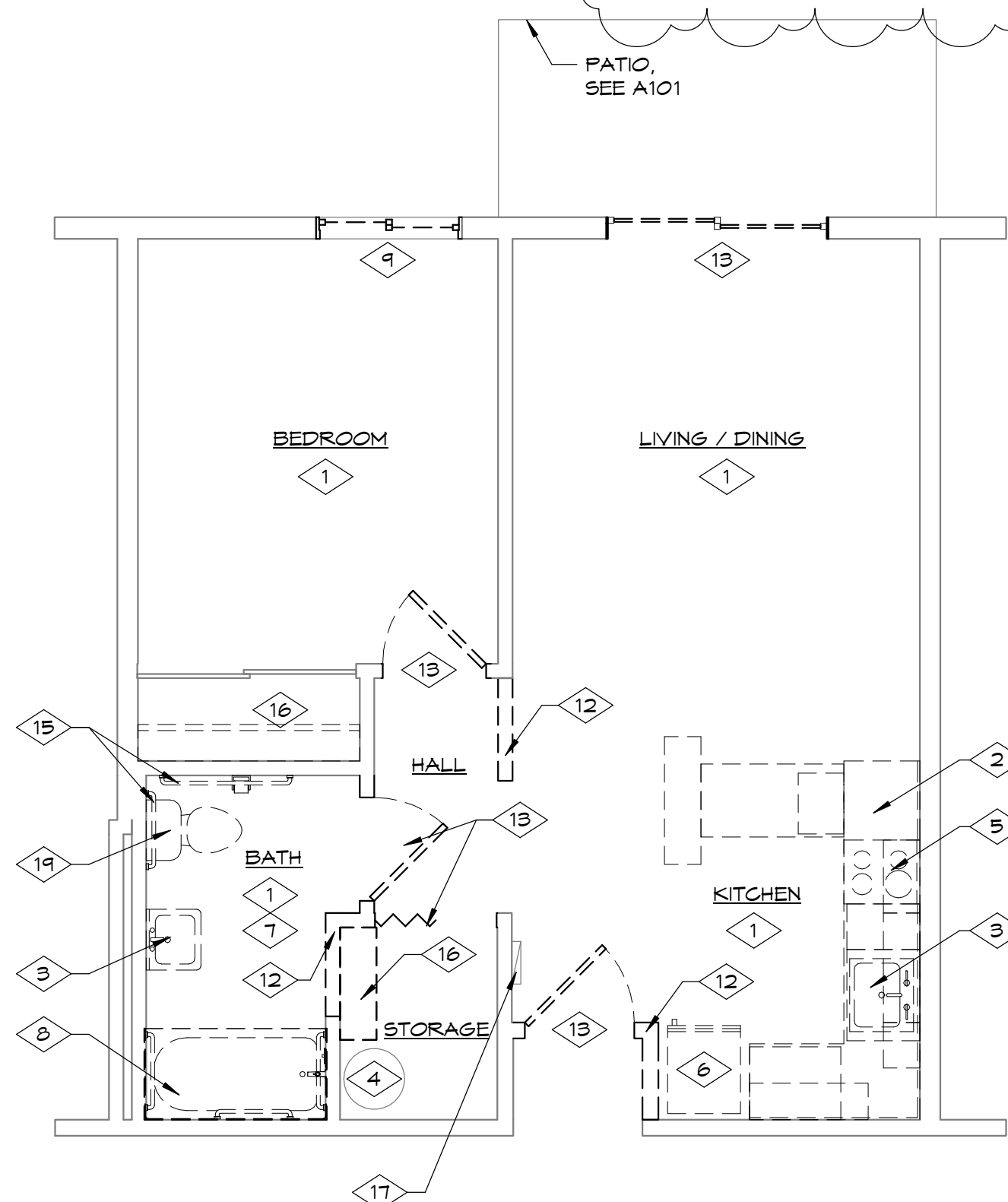
3 BATH
1/4" = 1'-0"



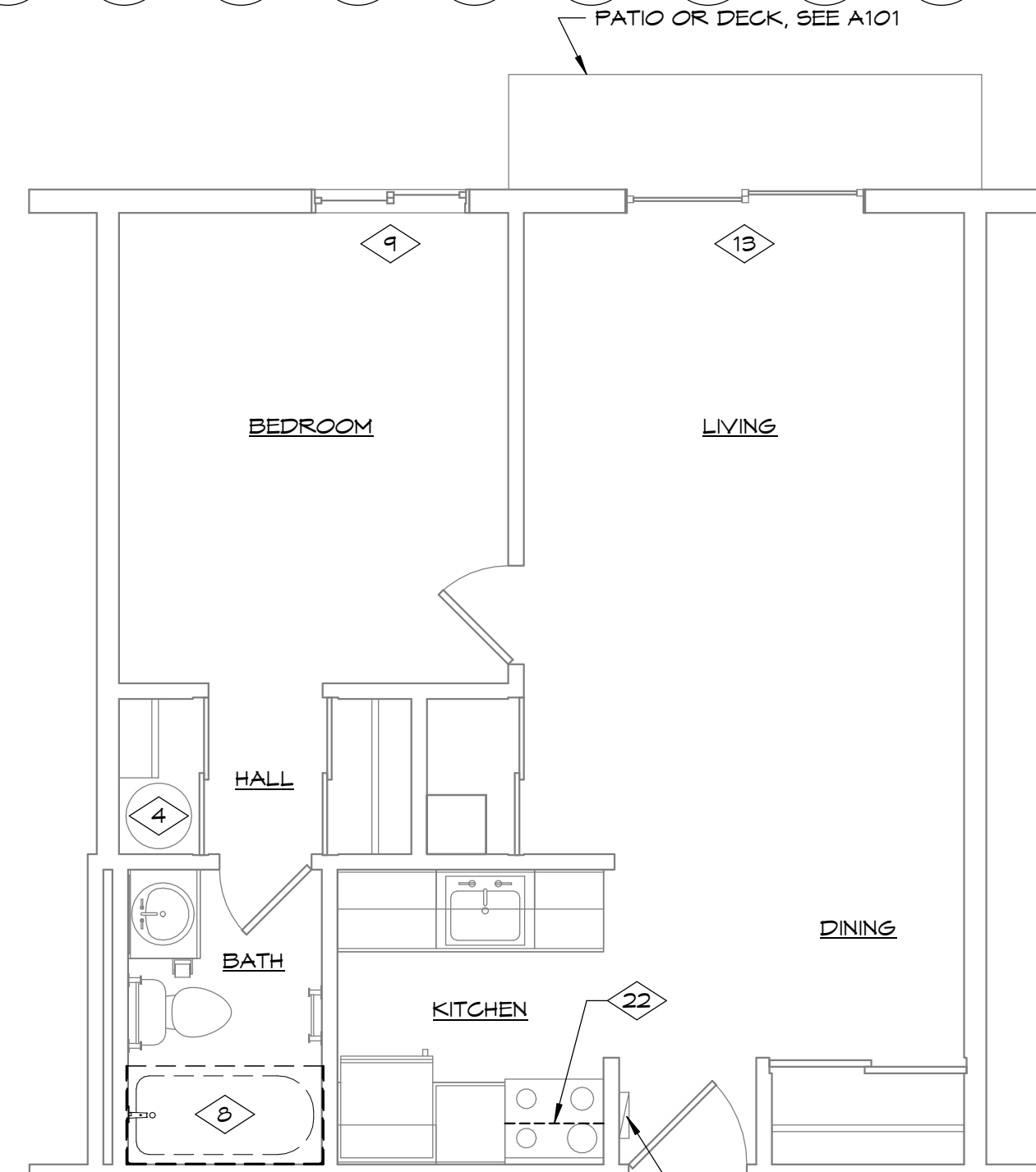
4 BATH
1/4" = 1'-0"



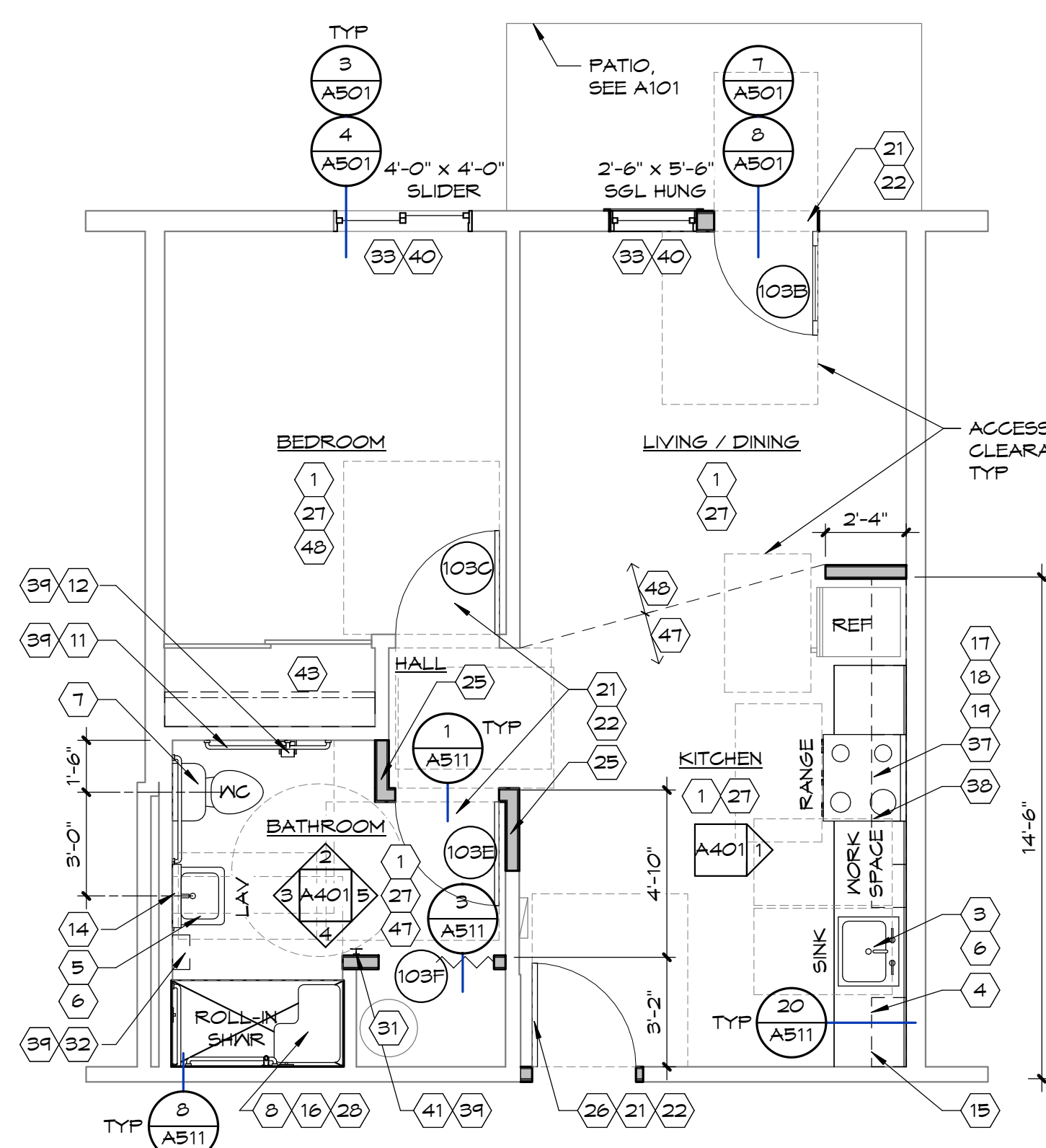
5 BATH
1/4" = 1'-0"



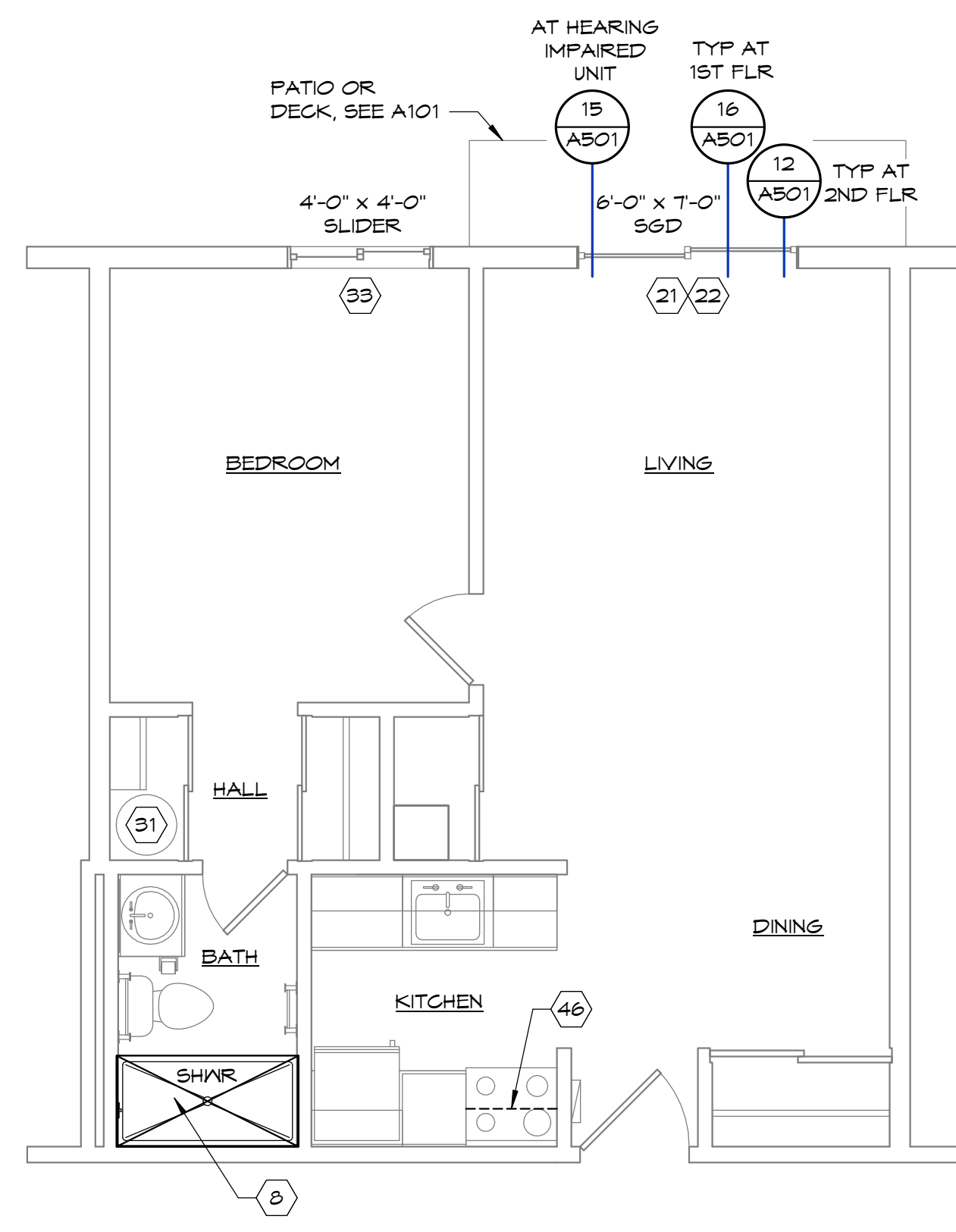
C ACCESSIBLE ONE-BDRM UNIT - DEMO PLAN
1/4" = 1'-0"



A TYPICAL ONE-BEDROOM UNIT - DEMO PLAN
1/4" = 1'-0" (HEARING-IMPAIRED UNIT SIM)



D ACCESSIBLE ONE-BEDROOM UNIT
1/4" = 1'-0"



B TYPICAL ONE-BEDROOM UNIT
1/4" = 1'-0" (HEARING-IMPAIRED UNIT SIM)

NO.	DATE	BY
2	3/5/21	PD
1	3/4/21	RJB



PROJECT NO.	2034
DRAWN:	RFP
CHECKED:	SEMB
DATE:	01/29/2021
DRAWING NO.	

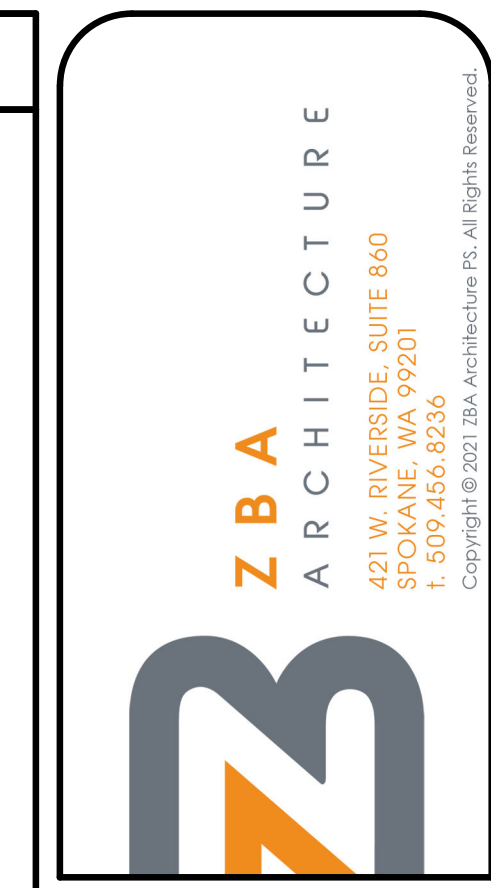
MAX (FT) PIPE RUNS FROM HOT WATER SOURCE

TYPE	3/8"	1/2"	3/4"	1"
K COPPER	75	45	22	12
L COPPER	60	40	20	12
M COPPER	60	40	18	11
CPVC	N/A	50	24	15
PEX	45	50	26	16

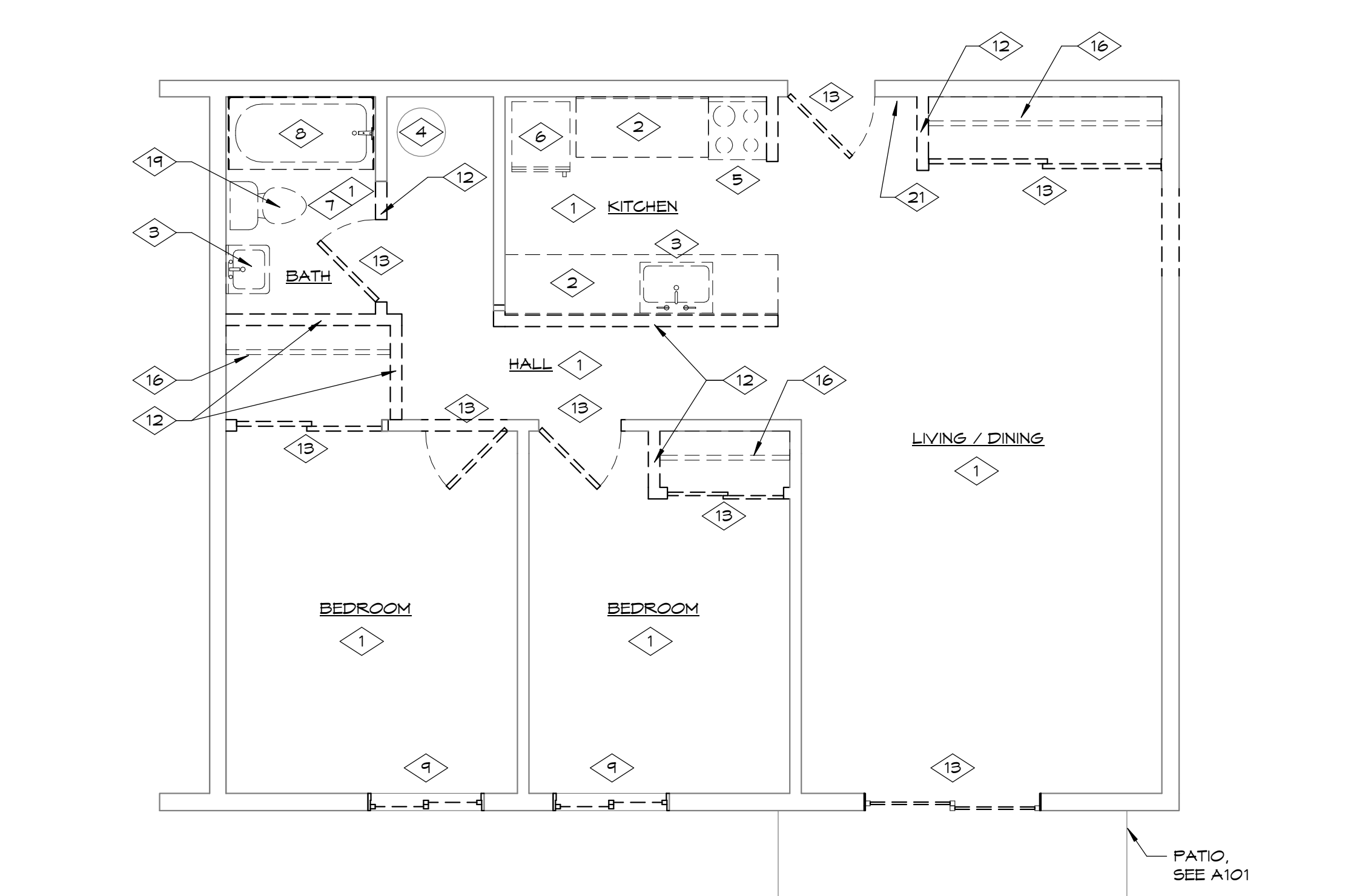
- ### EFFICIENT PLUMBING NOTES
- TO MINIMIZE HOT WATER LOSS, THE HOT WATER DELIVERY SYSTEM SHALL STORE NO MORE THAN 0.5 GALLONS OF WATER IN ANY PIPING/MANIFOLD BETWEEN THE HOT WATER SOURCE & ANY HOT WATER FIXTURE.
 - HOT WATER TANKS MUST HAVE HEAT TRAPS INSTALLED ON HOT & COLD LINES & 1" INSULATION ON THE FIRST 5' OR FIRST PENETRATION FOR HOT & COLD LINES.
 - RECIRCULATION SYSTEMS MUST HAVE BOTH TEMPERATURE & DEMAND CONTROLS. RECIRC LOOP MUST BE FULLY INSULATED WITH FOAM INSULATION OF AT LEAST EQUAL THICKNESS TO THE NOMINAL DIAMETER OF THE PIPE, BUT NO MORE THAN 2" PIPING RUNNING FROM THE HOT WATER SOURCE

- ### KEYED NOTES
- NEW FLOOR FINISHES, SEE FINISH LEGEND
 - EXISTING FLOORING TO REMAIN
 - NEW COUNTERTOP & CABINETS
 - NEW SINK/LAV & FAUCET
 - NEW WALL-HUNG LAV
 - INSULATE HW, CW, & DRAIN LINES
 - NEW WATER CLOSET
 - REPLACE TUB W/ SHWR & SURROUND, SEE UNIT MATRIX
 - NEW 24" TONEL BAR
 - NEW TONEL RING
 - NEW GRAB BARS, SIZE PER ELEV
 - NEW TOILET PAPER DISPENSER
 - NEW LIGHT FIXTURE, SEE INTERIOR ELEVATIONS & ELECTRICAL PLANS
 - NEW MIRROR, 24"x36", 40" MAX AFF TO BOT OF REFLECTIVE SURFACE
 - BLIND CORNER CABINET
 - NEW SHOWER ROD
 - INSTALL NEW RANGE
 - NEW RANGE HOOD
 - CONCEAL RANGE HOOD DUCT IN CABINET, EXTEND GYP BD TO CEILING TO CONCEAL DUCTING ABOVE CABINETS
 - NEW REFRIGERATOR
 - NEW DOOR, SIZE PER DOOR SCHEDULE
 - NEW DOOR FRAME
 - NEW WATER HEATER
 - REPLACE EXISTING ELECTRIC BASEBOARD HEATER WITH COVE HEATER
 - NEW WALL, 2x4 STUDS AT 16" OC W/ GYP BD EA SIDE, TYP
 - PROVIDE SECOND DOOR VIEWER AT ACCESSIBLE UNITS, SEE 4/A601
 - NEW BASE, TYP SEE FINISH LEGEND
 - NEW ADJUSTABLE SHOWER HEAD W/ 24" SLIDE BAR
 - INFILL NEW WALL, MATCH EXIST FRAMING & GYP BD
 - NEW OFFICE SIGN, SEE 3/A512 & 6/A511
 - WATER HEATER, SEE UNIT MATRIX
 - NEW 12" DEEP METAL SHELF ON METAL BRACKETS, 48" MAX TO TOP
 - NEW WINDOW OR RELIGHT, SIZE PER PLAN
 - NEW SOAP DISPENSER
 - NEW SURFACE MOUNT PAPER TOWEL DISPENSER
 - NEW TUB/SHWR SEAT
 - NEW RANGE HOOD FAN SWITCH & RANGE HOOD LIGHT SWITCH
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 - REINSTALL ROD & SHELF, SEE 4/A511
 - NEW SIGN, SEE 1/A512
 - RELOCATE INTERCOM
 - NEW RANGE HOOD
 - NEW ORANGE PEEL CEILING TEXTURE IN ENTIRE ROOM
 - EXISTING POPCORN CEILING TO REMAIN
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 - MAINTAIN EXISTING BEAM, WRAP W/ 5/8" TYPE X GYPSUM BOARD ON ALL SIDES IF EXPOSED DURING CONSTRUCTION
 - NEW ELECTRICAL PANEL

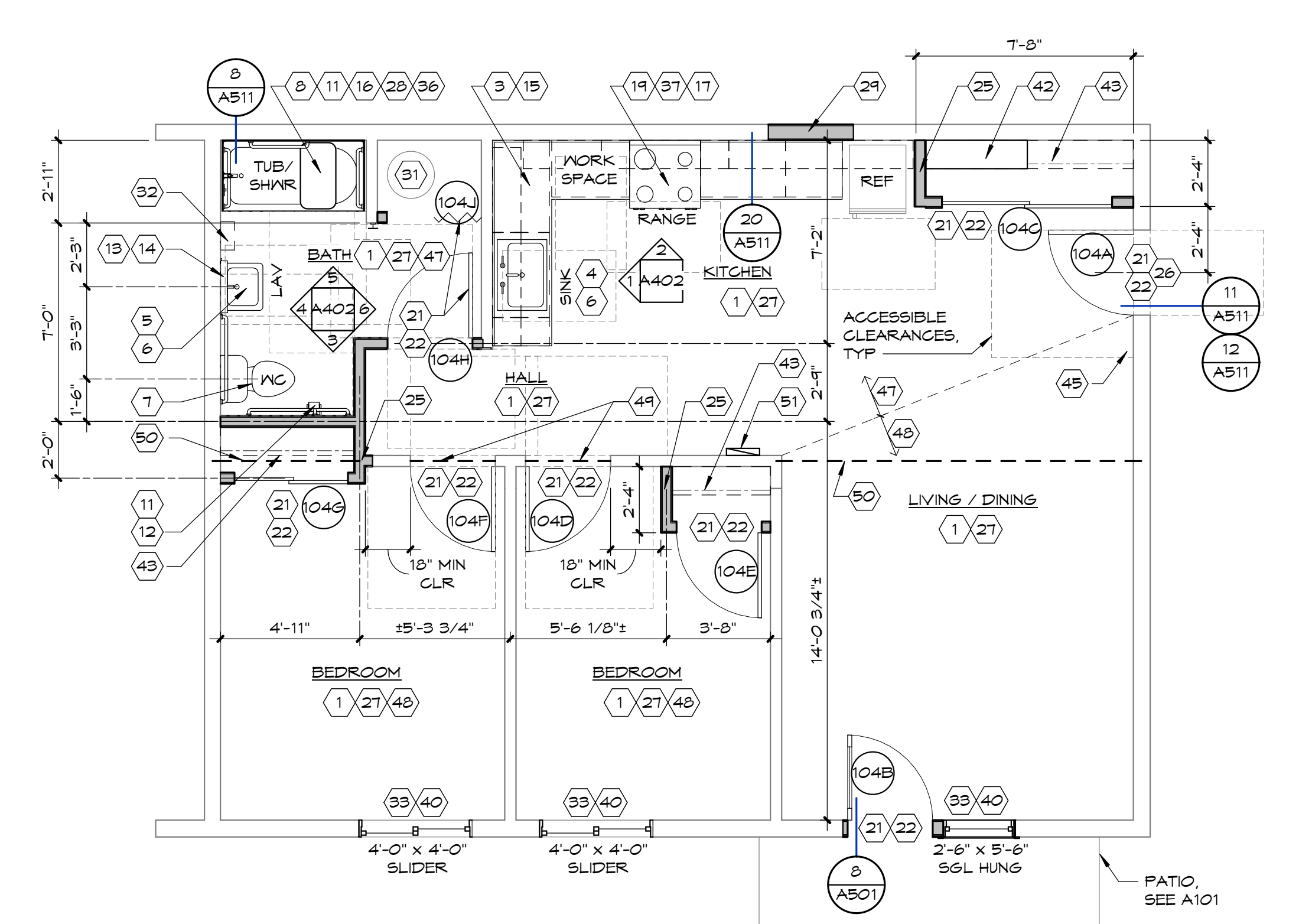
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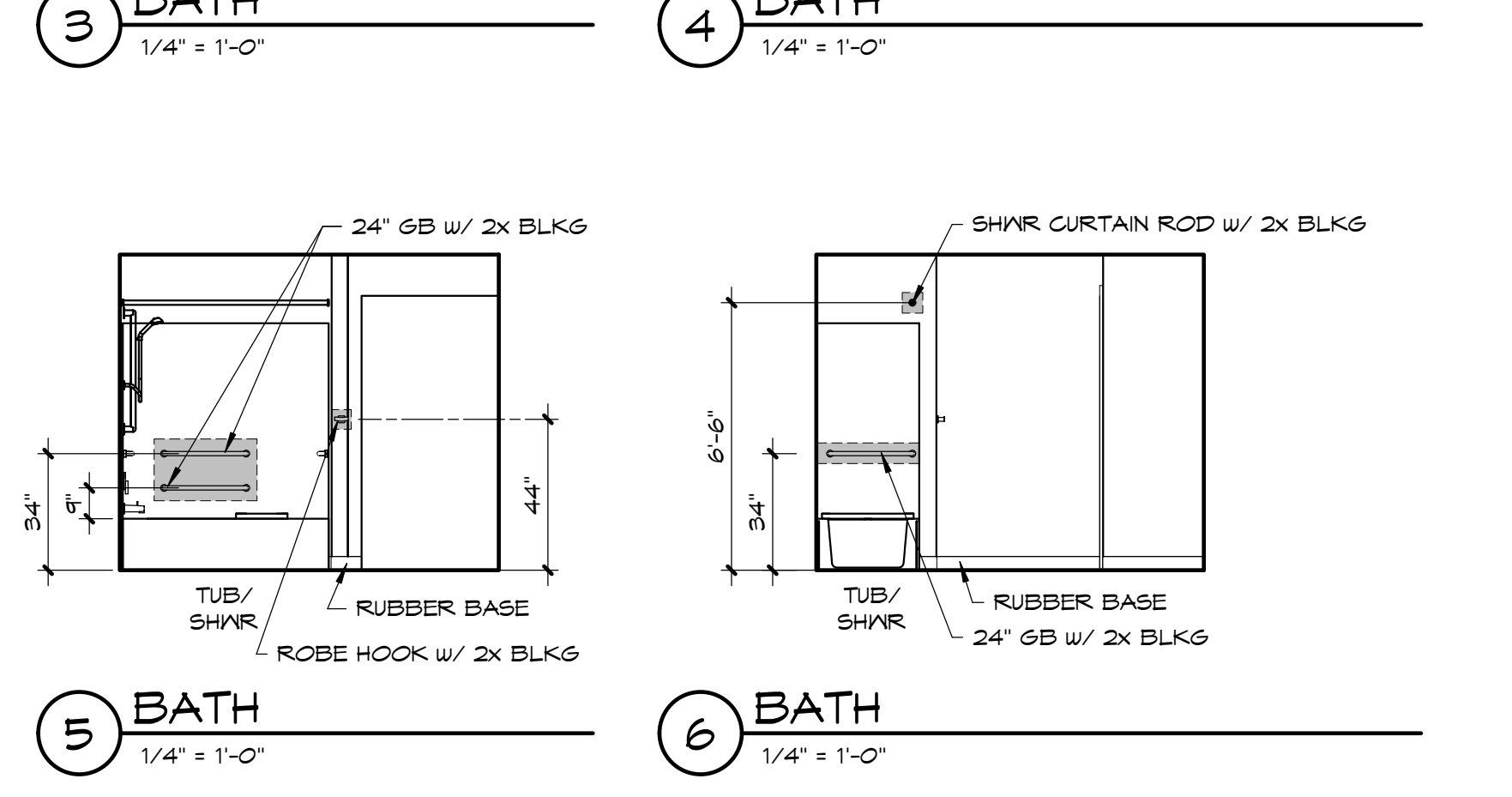
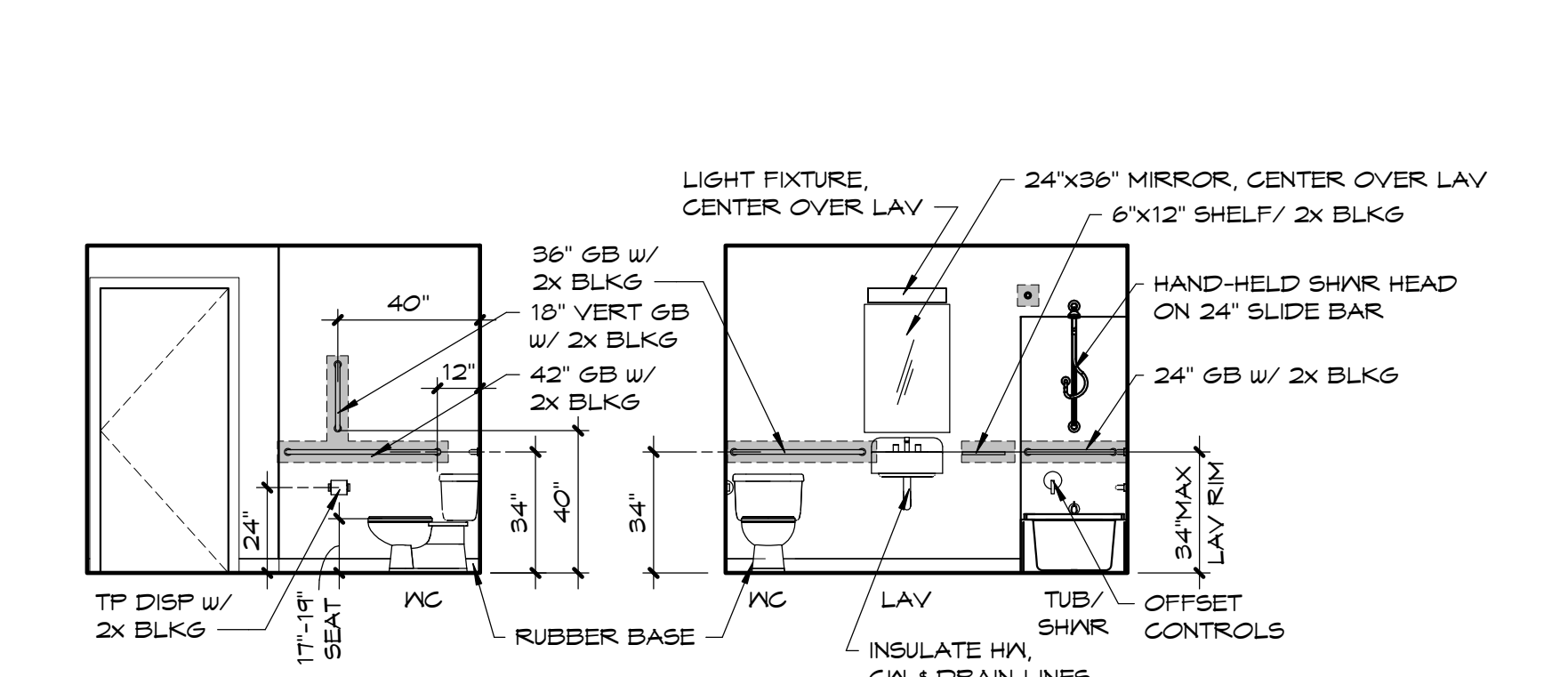
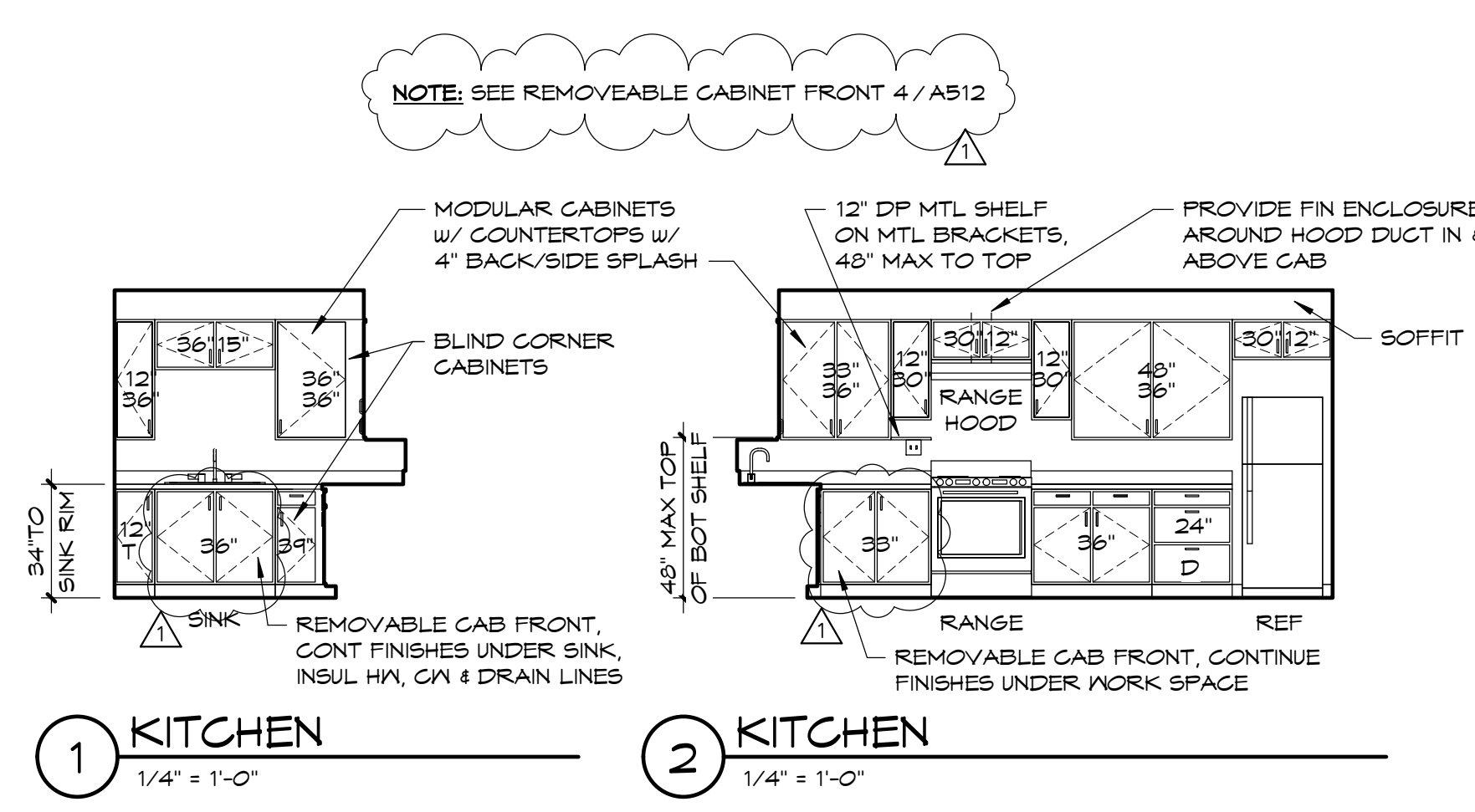
NO.	DATE	BY
2	3/5/21	PD
1	3/4/21	RJB



A ACCESSIBLE TWO-BEDROOM UNIT - DEMO PLAN
1/4" = 1'-0"



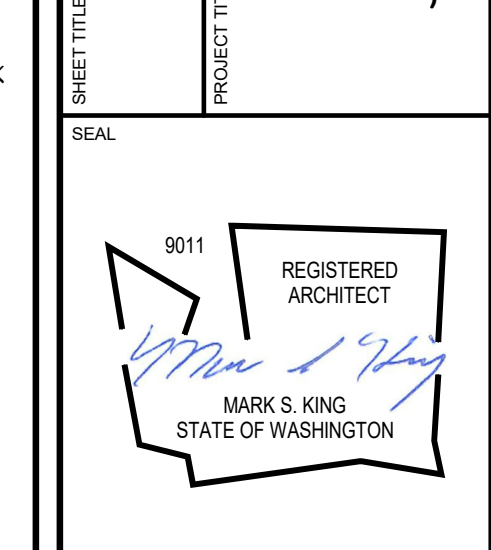
B ACCESSIBLE TWO-BEDROOM UNIT - PLAN
1/4" = 1'-0"



- ### DEMO NOTES
- REMOVE FLOOR FINISHES
 - REMOVE CABINETS & COUNTERTOP
 - REMOVE SINK/LAV
 - REMOVE WATER HEATER
 - REMOVE RANGE & RANGE HOOD
 - REMOVE REFRIGERATOR
 - REMOVE ALL BATH ACCESSORIES (TONEL BARS, SHOWER ROD, TP DISP, ETC.)
 - REMOVE TUB/SHOWER, SEE UNIT MATRIX
 - REMOVE WINDOW
 - REMOVE HEATER
 - REMOVE DOOR & DOOR HARDWARE, FRAME TO REMAIN
 - REMOVE WALL
 - REMOVE DOOR, DOOR HARDWARE, AND DOOR FRAME
 - REMOVE BASEBOARD HEATERS
 - REMOVE ALL GRAB BARS
 - REMOVE ROD & SHELF, STORE FOR REINSTALLATION
 - ELEG PANEL TO REMAIN
 - REMOVE EXIST AC UNIT
 - REMOVE WATER CLOSET
 - REMOVE DISHWASHER
 - REMOVE SIGN
 - RELOCATE INTERCOM
 - REMOVE RANGE HOOD

ACCESSIBLE TWO-BEDROOM UNIT

PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

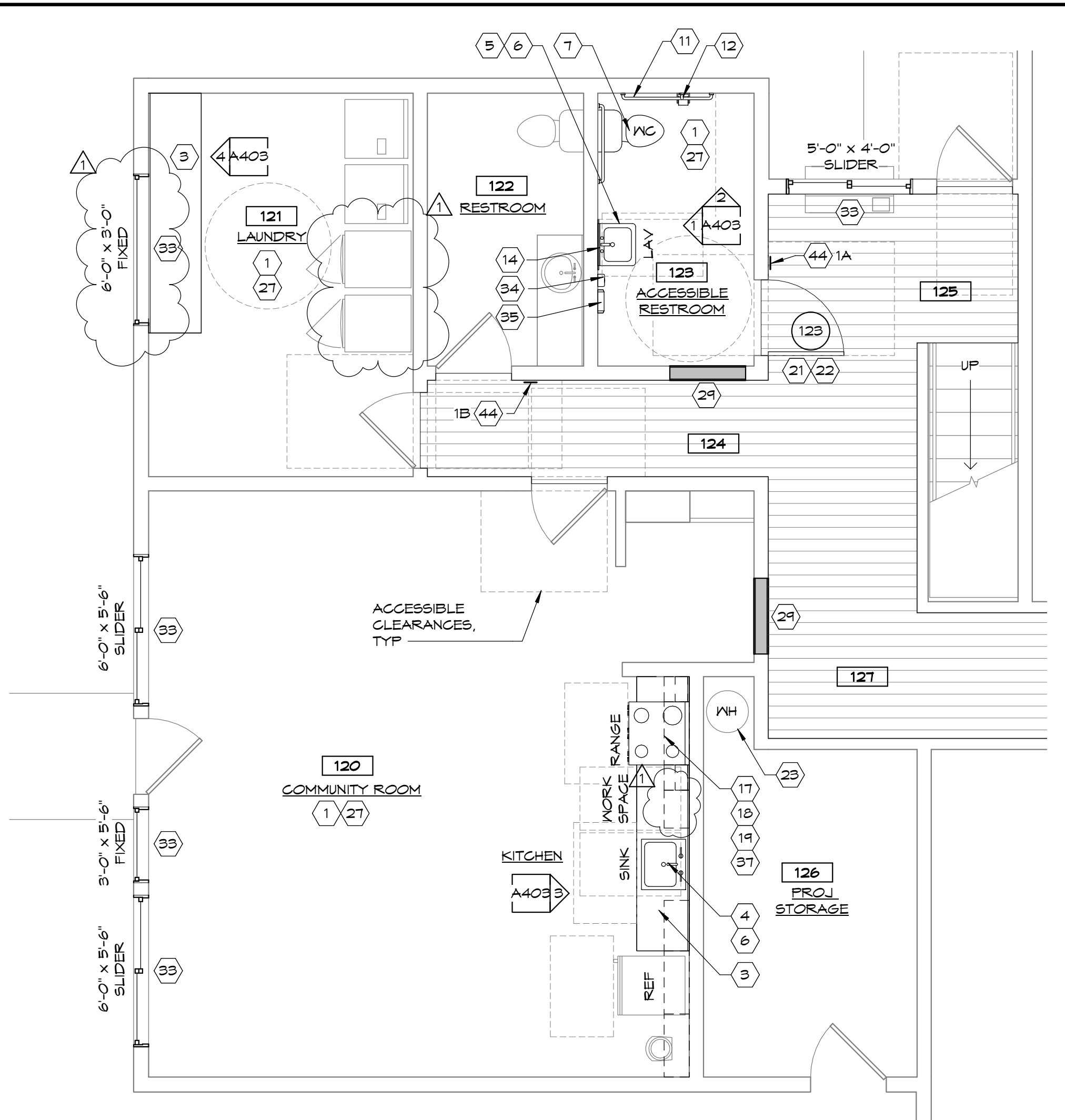


PROJECT NO.	2034
DRAWN:	PD
CHECKED:	SEMB
DATE:	01/29/2021
DRAWING NO.	

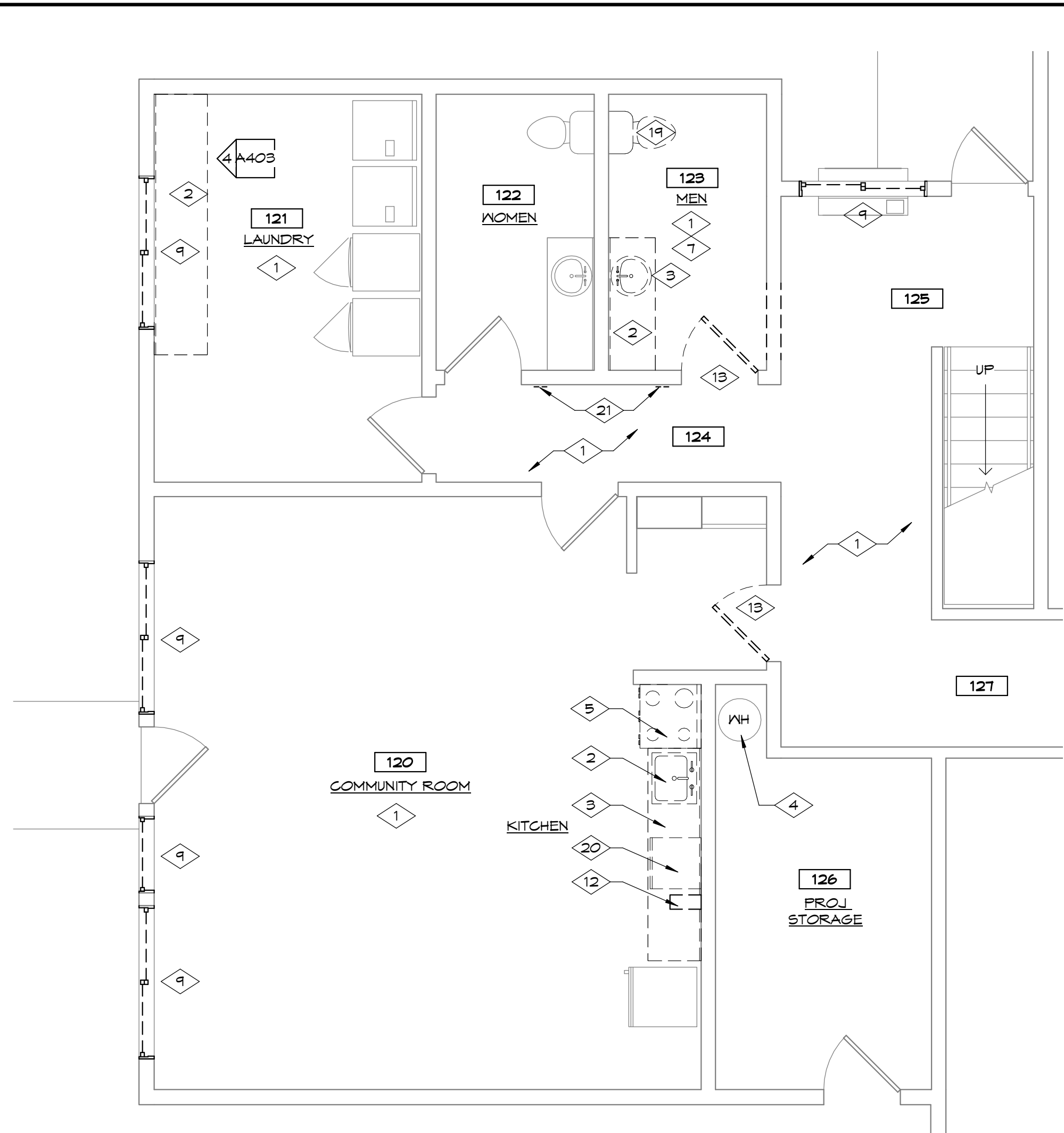
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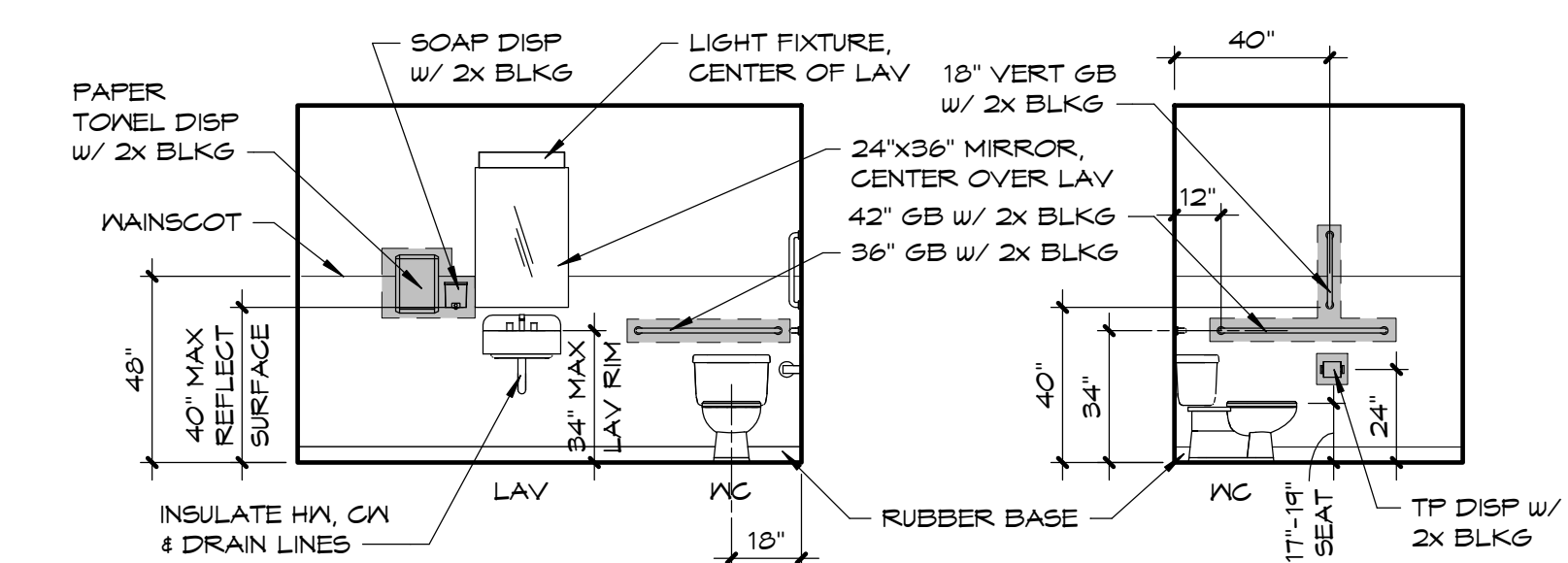
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B COMMUNITY AREA - PLAN
1/4" = 1'-0"

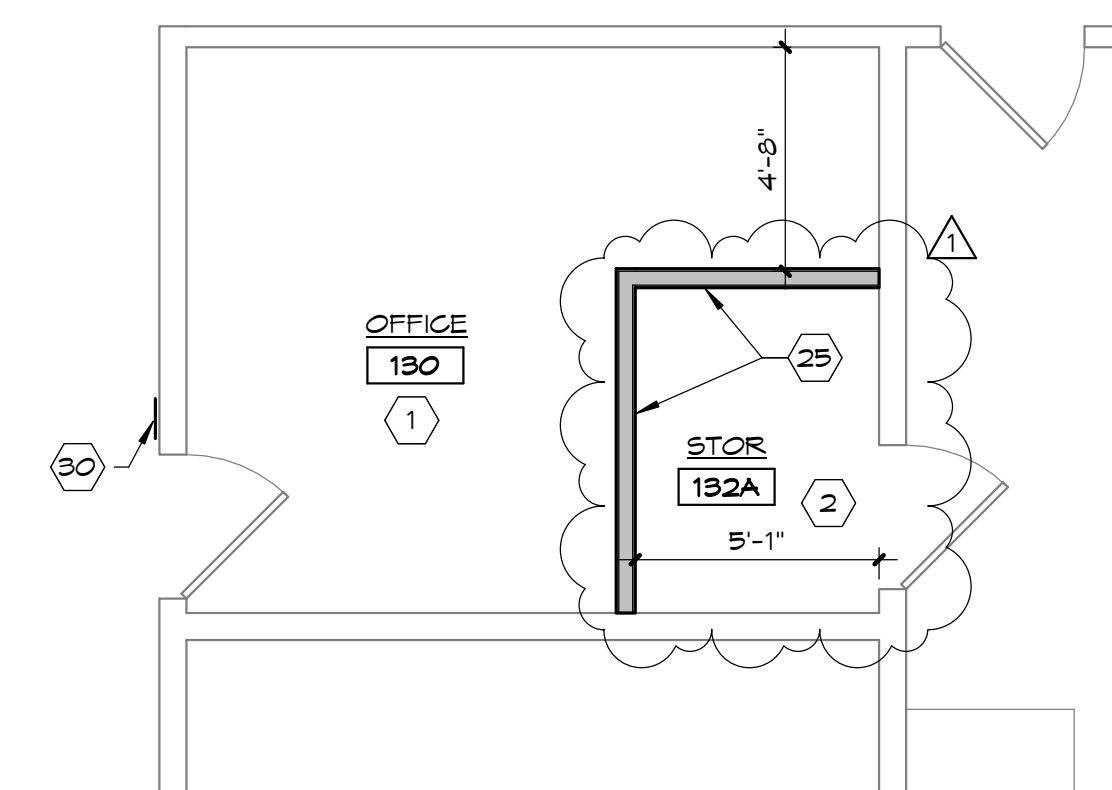


A COMMUNITY AREA - DEMO PLAN
1/4" = 1'-0"

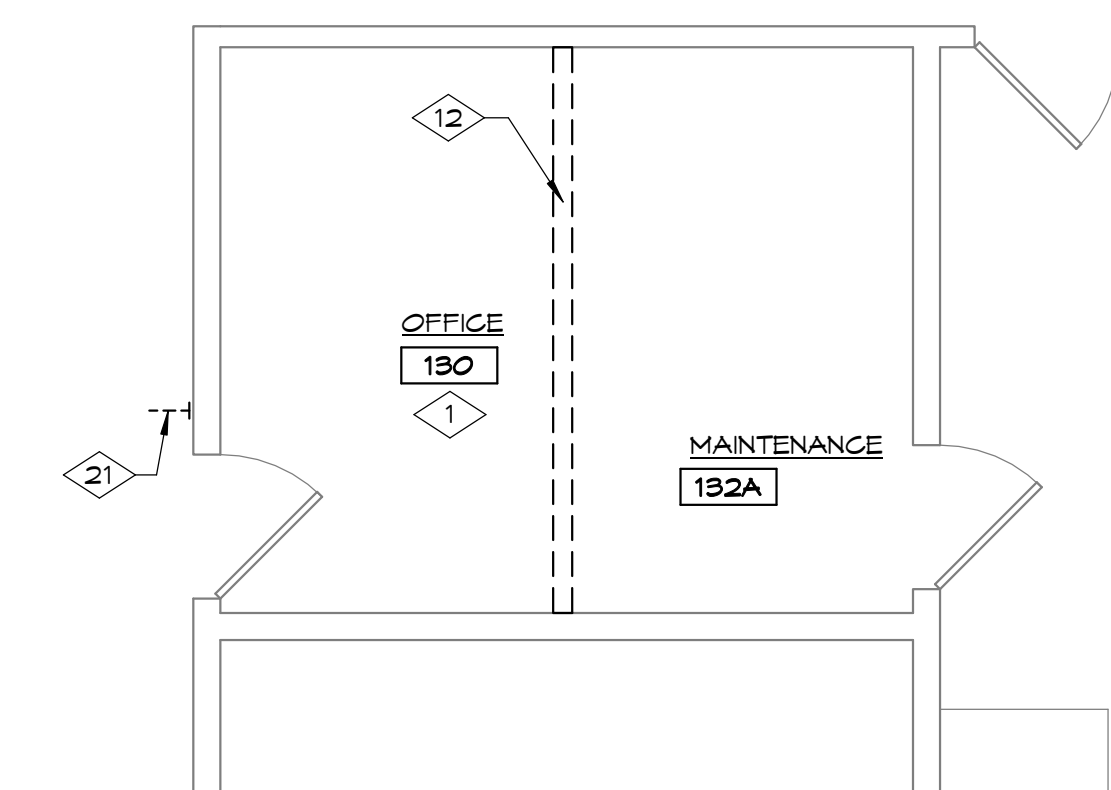


1 RESTROOM
1/4" = 1'-0"

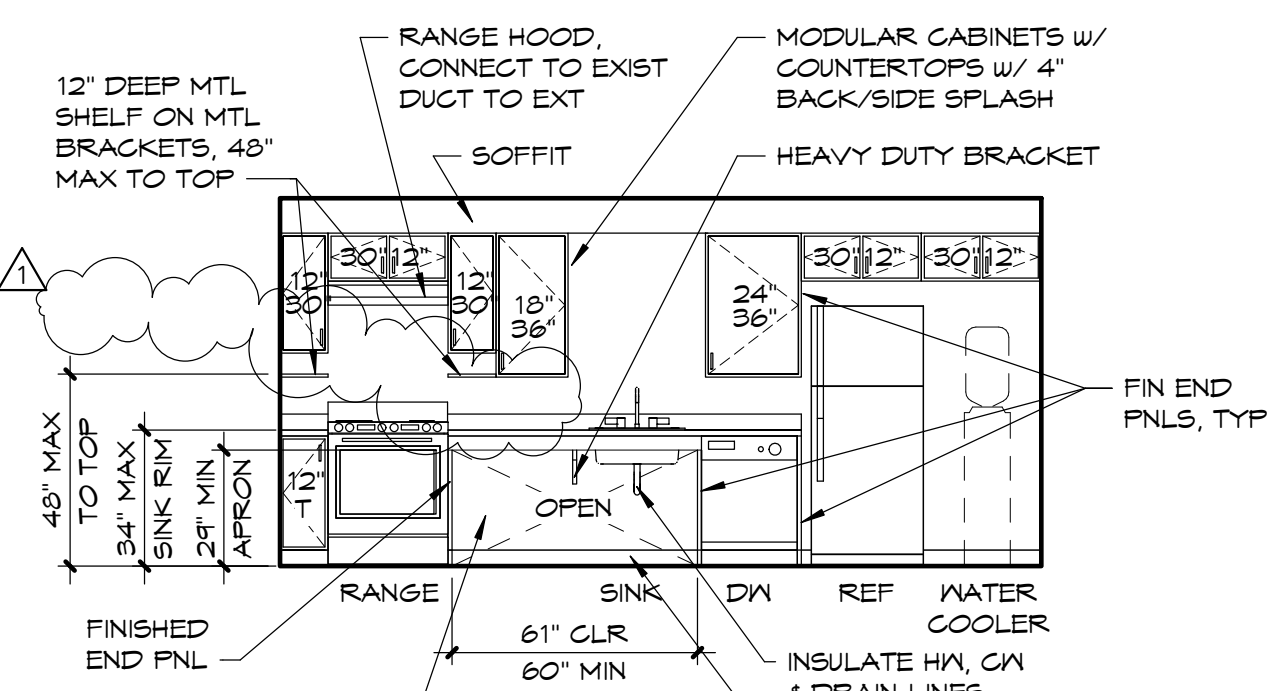
2 RESTROOM
1/4" = 1'-0"



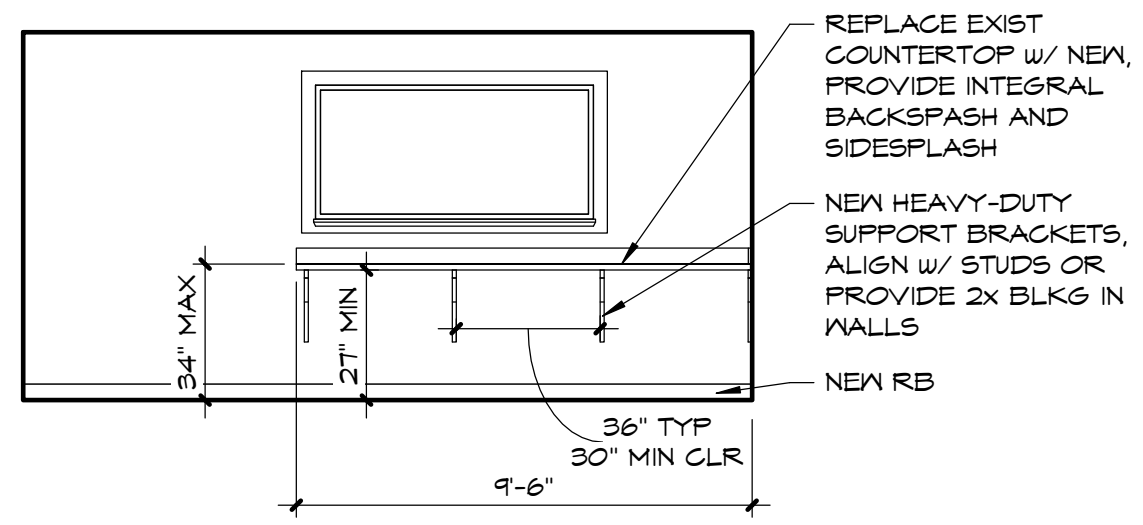
D OFFICE - PLAN
1/4" = 1'-0"



C OFFICE - DEMO PLAN
1/4" = 1'-0"



3 KITCHEN
1/4" = 1'-0"



4 LAUNDRY
1/4" = 1'-0"

KEYED NOTES

- 1 NEW FLOOR FINISHES, SEE FINISH LEGEND
- 2 EXISTING FLOORING TO REMAIN
- 3 NEW COUNTERTOP & CABINETS
- 4 NEW SINK/LAV & FAUCET
- 5 NEW WALL-HUNG LAV
- 6 INSULATE HW, CW, & DRAIN LINES
- 7 NEW WATER CLOSET
- 8 REPLACE TUB W/ SHWR & SURROUND, SEE UNIT MATRIX
- 9 NEW 24" TOWEL BAR
- 10 NEW TOWEL RING
- 11 NEW GRAB BARS, SIZE PER ELEV
- 12 NEW TOILET PAPER DISPENSER
- 13 NEW LIGHT FIXTURE, SEE INTERIOR ELEVATIONS & ELECTRICAL PLANS
- 14 NEW MIRROR, 24"x36", 40" MAX AFF TO BOT OF REFLECTIVE SURFACE
- 15 BLIND CORNER CABINET
- 16 NEW SHOWER ROD
- 17 INSTALL NEW RANGE
- 18 NEW RANGE HOOD
- 19 CONCEAL RANGE HOOD DUCT IN CABINET, EXTEND GYP BD TO CEILING TO CONCEAL DUCTING ABOVE CABINETS
- 20 NEW REFRIGERATOR
- 21 NEW DOOR, SIZE PER DOOR SCHEDULE
- 22 NEW DOOR FRAME
- 23 NEW WATER HEATER
- 24 REPLACE EXISTING ELECTRIC BASEBOARD HEATER WITH COVE HEATER
- 25 NEW WALL, 2x4 STUDS AT 16" OC W/ GYP BD EA SIDE, TYP
- 26 PROVIDE SECOND DOOR VIEWER AT ACCESSIBLE UNITS, SEE 4 / A601
- 27 NEW BASE, TYP SEE FINISH LEGEND
- 28 NEW ADJUSTABLE SHOWER HEAD W/ 24" SLIDE BAR
- 29 INFILL NEW WALL, MATCH EXIST FRAMING & GYP BD
- 30 NEW OFFICE SIGN, SEE 3 / A512 & 6 / A511
- 31 WATER HEATER, SEE UNIT MATRIX
- 32 NEW 12" DEEP METAL SHELF ON METAL BRACKETS, 48" MAX TO TOP
- 33 NEW WINDOW OR RELIGHT, SIZE PER PLAN
- 34 NEW SOAP DISPENSER
- 35 NEW SURFACE MOUNT PAPER TOWEL DISPENSER
- 36 NEW TUB/SHWR SEAT
- 37 NEW RANGE HOOD FAN SWITCH & RANGE HOOD LIGHT SWITCH
- 38 FINISHED END PANEL, TYP
- 39 PROVIDE 2X BLOCKING BETWEEN STUDS
- 40 NEW WINDOW TREATMENT
- 41 NEW ROBE HOOK, 48" MAX TO TOP
- 42 (5) NEW SHELVES
- 43 REINSTALL ROD & SHELF, SEE 4 / A511
- 44 NEW SIGN, SEE 1 / A512
- 45 RELOCATE INTERCOM
- 46 NEW RANGE HOOD
- 47 NEW ORANGE PEEL CEILING TEXTURE IN ENTIRE ROOM
- 48 EXISTING POPCORN CEILING TO REMAIN
- 49 NEW DBL 2x6 HEADER
- 50 MAINTAIN EXISTING BEAM, WRAP W/ 5/8" TYPE X GYPSUM BOARD ON ALL SIDES IF EXPOSED DURING CONSTRUCTION
- 51 NEW ELECTRICAL PANEL

NOTES

1. CLOSET FINISHES SHALL BE THE SAME AS ADJACENT ROOM.
2. AT INTERIOR ELEVATIONS: SF = SINK FRONT, SB = SINK BASE, D = DRAWER, T = TRAY
3. PROVIDE FINISHED END PANELS ON ALL CABINETS AND COUNTERTOPS THAT DO NOT ABUT A WALL.
4. VERIFY LOCATION OF EXHAUST VENTS AT EXTERIOR WALLS AND LOCATE ALL OPERABLE WINDOW SASHES 3'-0" MIN FROM EXHAUST OUTLETS.
5. NO PIPING, DUCTS, WASHER BOXES, OR ITEMS OTHER THAN APPROVED WIRING DEVICES SHALL BE INSTALLED IN PARTY WALLS.
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12. SEE UNIT MATRIX ON A601 FOR WORK IN UNITS ON A UNIT-BY-UNIT BASIS.
13. SEE A601 FOR ROOM FINISH AND DOOR SCHEDULES
14. ALL SECOND FLOOR REPLACEMENT WINDOWS WITH AN OPENING BELOW 36" ABOVE THE FINISHED FLOOR SHALL HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F2090 AND ALLOWING FOR EMERGENCY EGRESS
15. ALL OPERABLE WINDOWS IN COMMON AREAS AND ACCESSIBLE UNITS SHALL BE ACCESSIBLE: OPERABLE WINDOW HANDLES & LATCHES SHALL BE LEVER-STYLE & 48" MAX TO TOP OF DEVICE. LATCHES SHALL ACTIVATE WITH 5 LBF OF LESS.

DEMO NOTES

- 1 REMOVE FLOOR FINISHES
- 2 REMOVE CABINETS & COUNTERTOP
- 3 REMOVE SINK/LAV
- 4 REMOVE WATER HEATER
- 5 REMOVE RANGE & RANGE HOOD
- 6 REMOVE REFRIGERATOR
- 7 REMOVE ALL BATH ACCESSORIES (TOWEL BARS, SHOWER ROD, TP DISP, ETC.)
- 8 REMOVE TUB/SHOWER, SEE UNIT MATRIX
- 9 REMOVE WINDOW
- 10 REMOVE HEATER
- 11 REMOVE DOOR & DOOR HARDWARE, FRAME TO REMAIN
- 12 REMOVE WALL
- 13 REMOVE DOOR, DOOR HARDWARE, AND DOOR FRAME
- 14 REMOVE BASEBOARD HEATERS
- 15 REMOVE ALL GRAB BARS
- 16 REMOVE ROD & SHELF, STORE FOR REINSTALLATION
- 17 ELEG PANEL TO REMAIN
- 18 REMOVE EXIST AC UNIT
- 19 REMOVE WATER CLOSET
- 20 REMOVE DISHWASHER
- 21 REMOVE SIGN
- 21 RELOCATE INTERCOM
- 22 REMOVE RANGE HOOD



NO.	DATE	BY
1	3/4/21	RJB

COMMUNITY AREA & OFFICE PLAN

PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

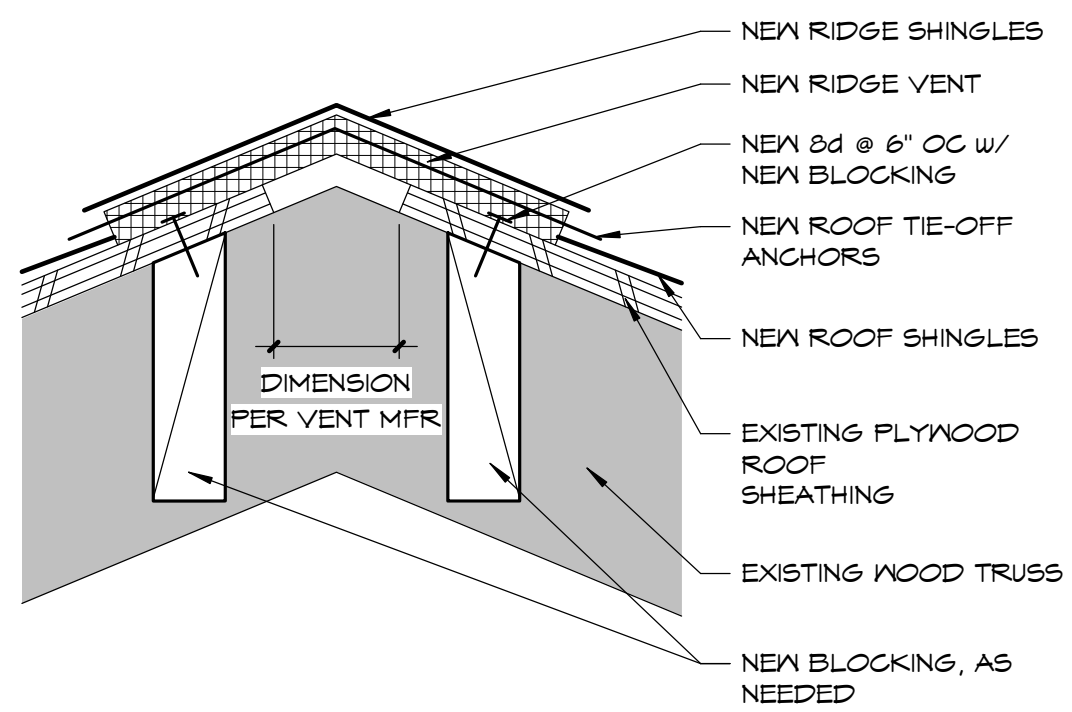
REGISTERED ARCHITECT

MARK S. KING
STATE OF WASHINGTON

PROJECT NO. 2034
DRAWN: PD
CHECKED: SEMB
DATE: 01/29/2021
DRAWING NO.

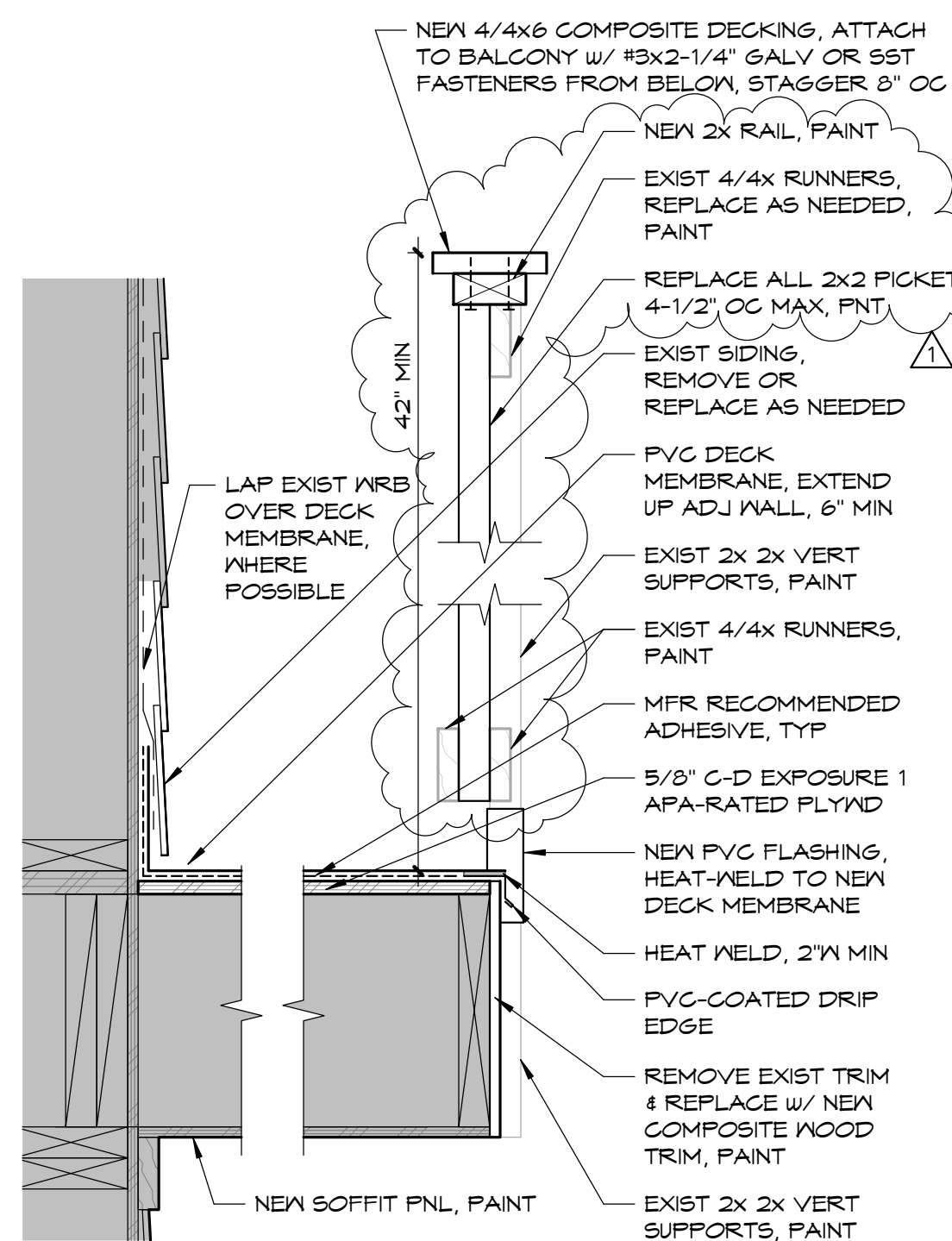
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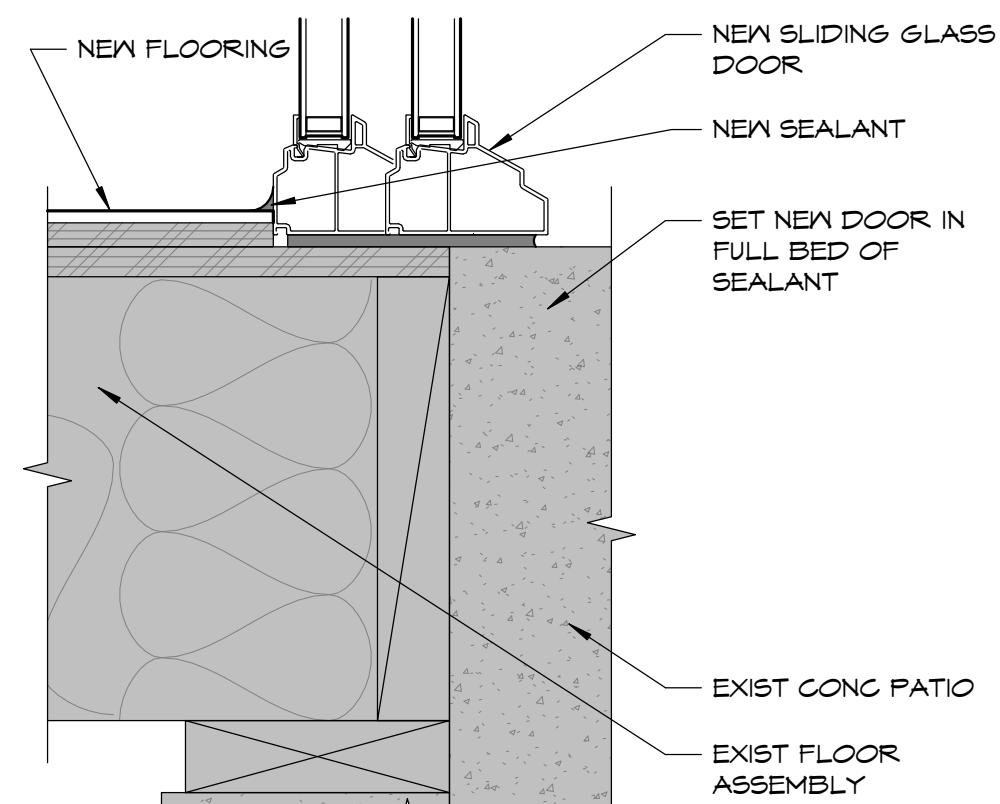


9 RIDGE VENT
3" = 1'-0" RF004

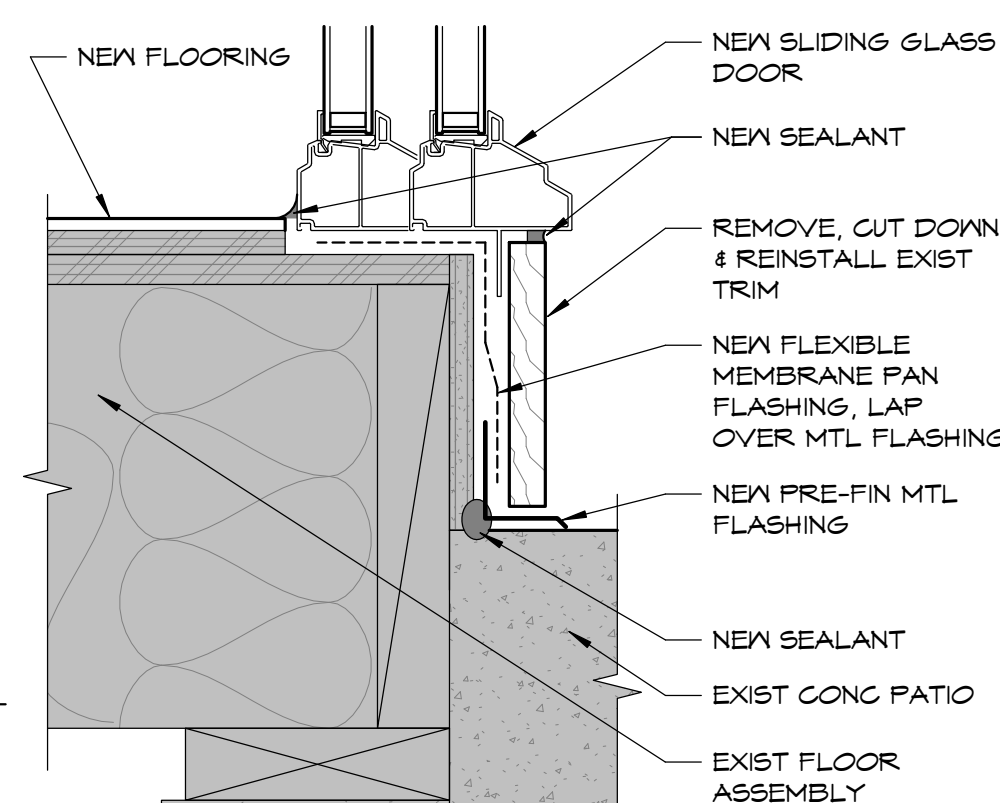
- NOTES:**
- REPAIR/REPLACE UP TO 5% OF WOOD RAILING, VERT SUPPORTS, RUNNERS, ETC. NOTIFY ARCHITECT IF STRUCTURAL ELEMENTS ARE DAMAGED.
 - PROVIDE DIVERTER/KICK-OUT FLASHING AT ALL OUTSIDE CORNERS PER MRF RECOMMENDATIONS
 - PROVIDE PRE-MOLDED CORNERS/FLASHING AT INSIDE CORNERS, HEAT-WELD ALL SEAMS



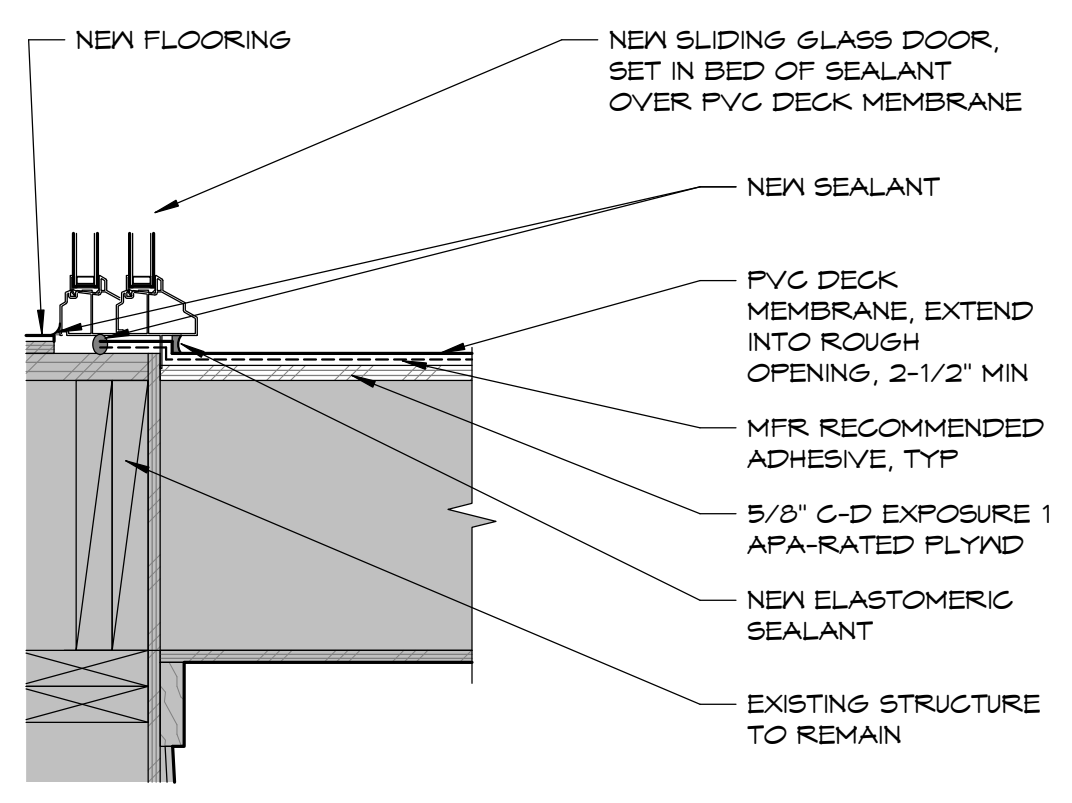
11 BALCONY REPAIR
1 1/2" = 1'-0" FR101



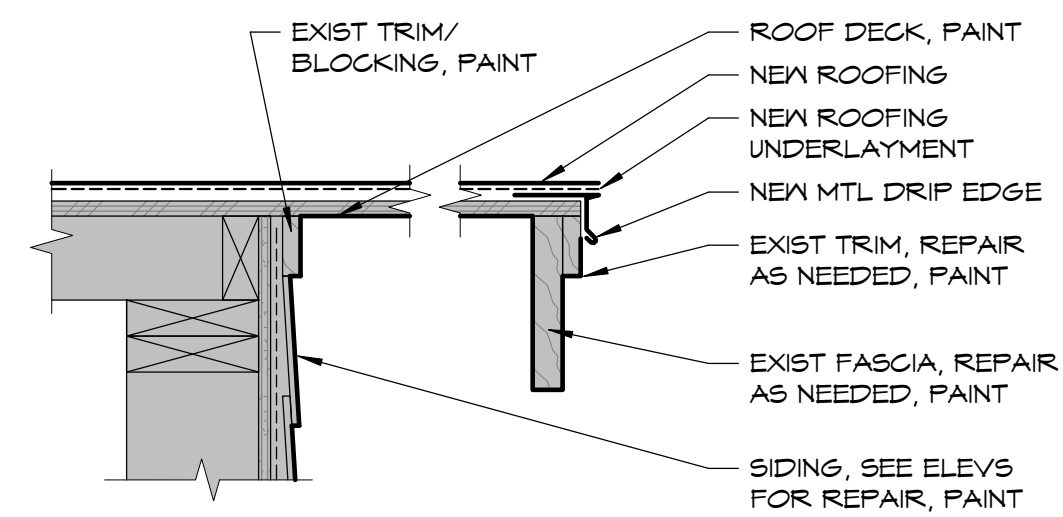
15 SGD THRESHOLD
3" = 1'-0" (UNIT 101, MAY OCCUR ELSEWHERE) FD003



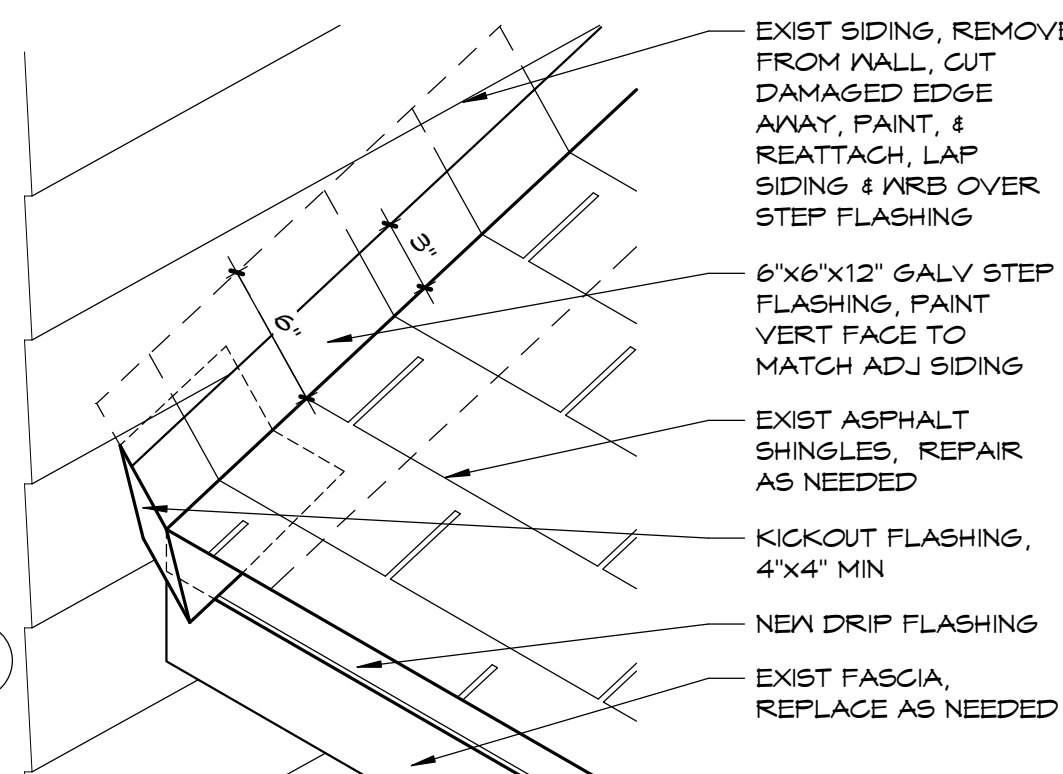
16 SGD THRESHOLD
3" = 1'-0" (TYPICAL GROUND FLOOR UNITS) FD002



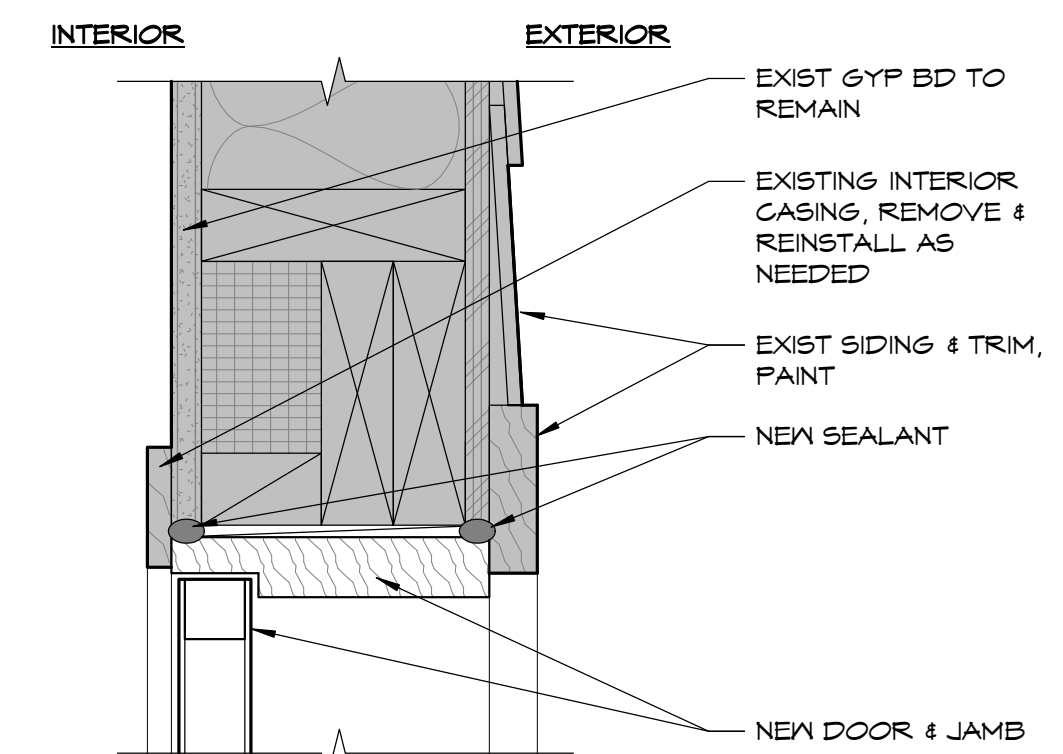
12 BALCONY THRESHOLD
1 1/2" = 1'-0" (TYPICAL UPPER FLOOR UNITS) FR102



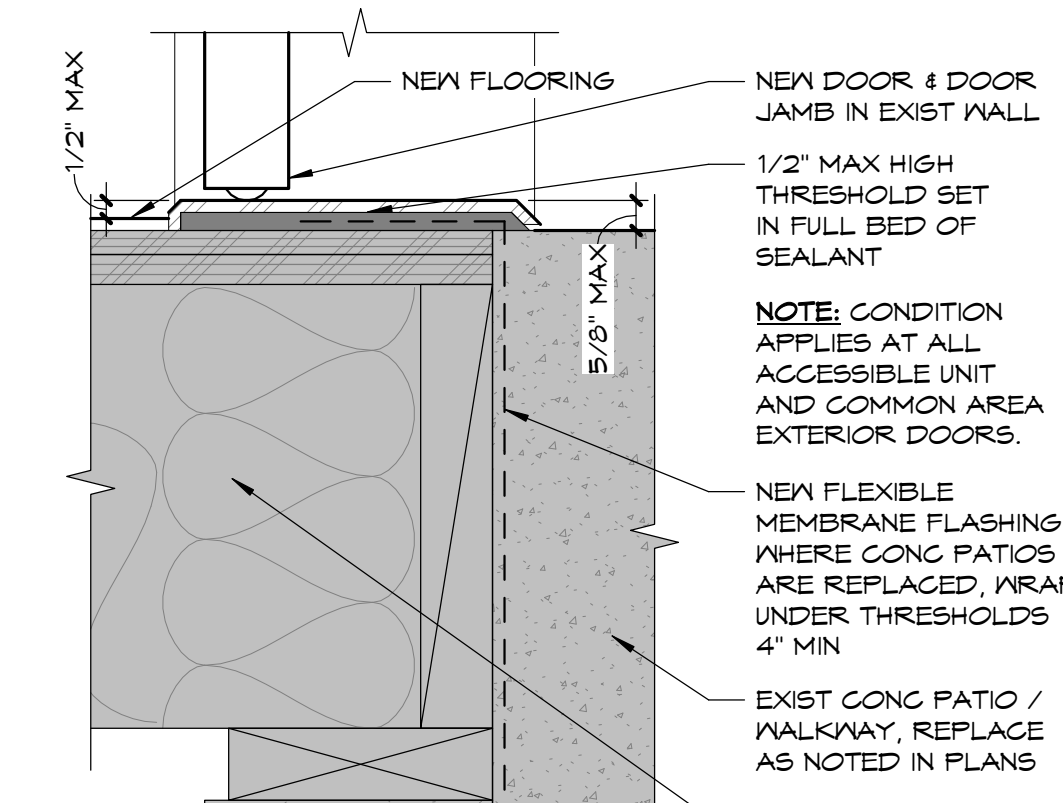
5 TYPICAL RAKE
1 1/2" = 1'-0" RF001



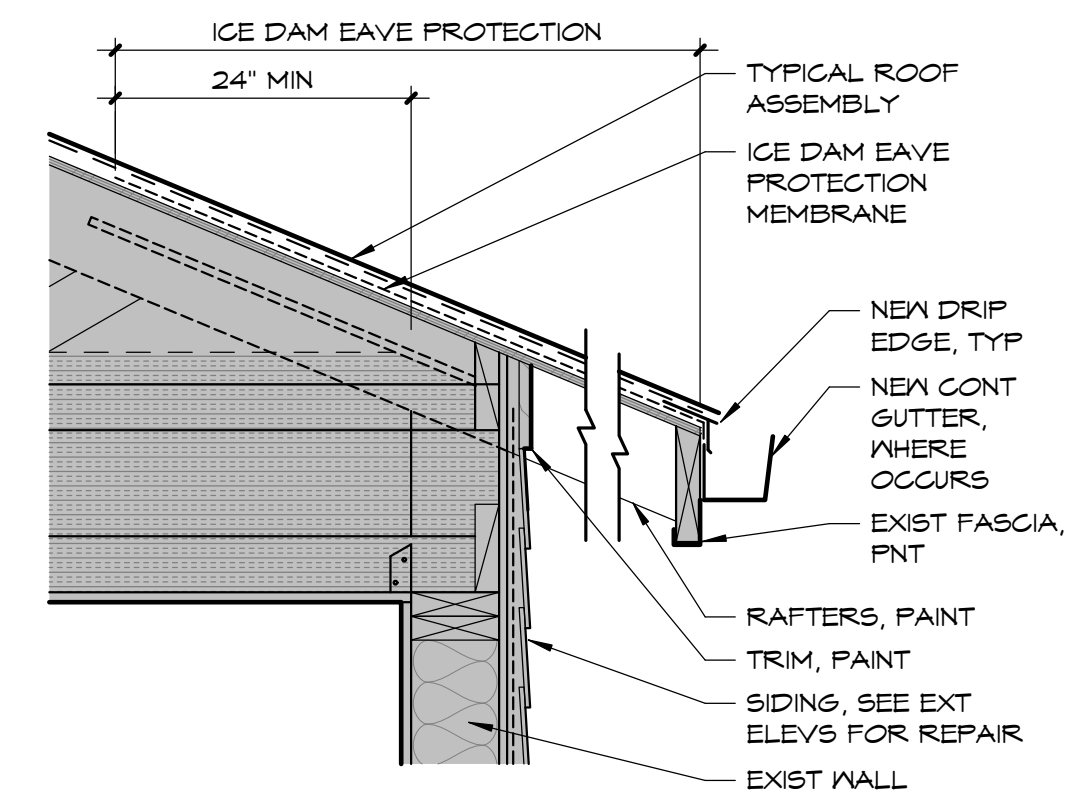
6 SIDING REPAIR
1 1/2" = 1'-0" RF006



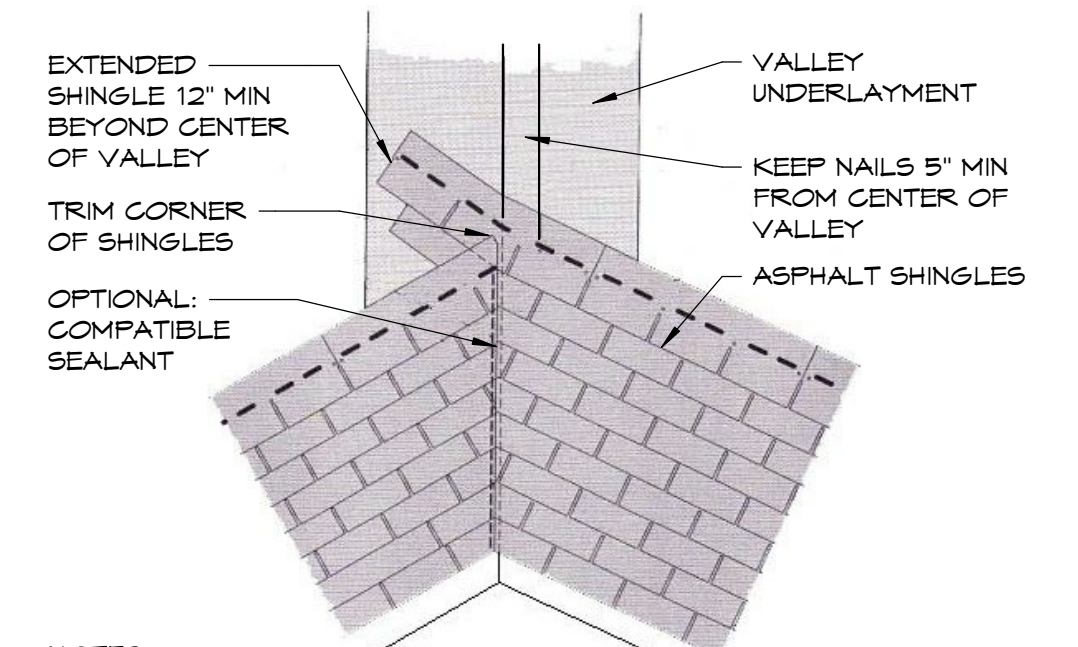
7 TYP EXT DOOR HEAD
3" = 1'-0" (JAMB SIM) DR005



8 THRESHOLD
3" = 1'-0" FD001

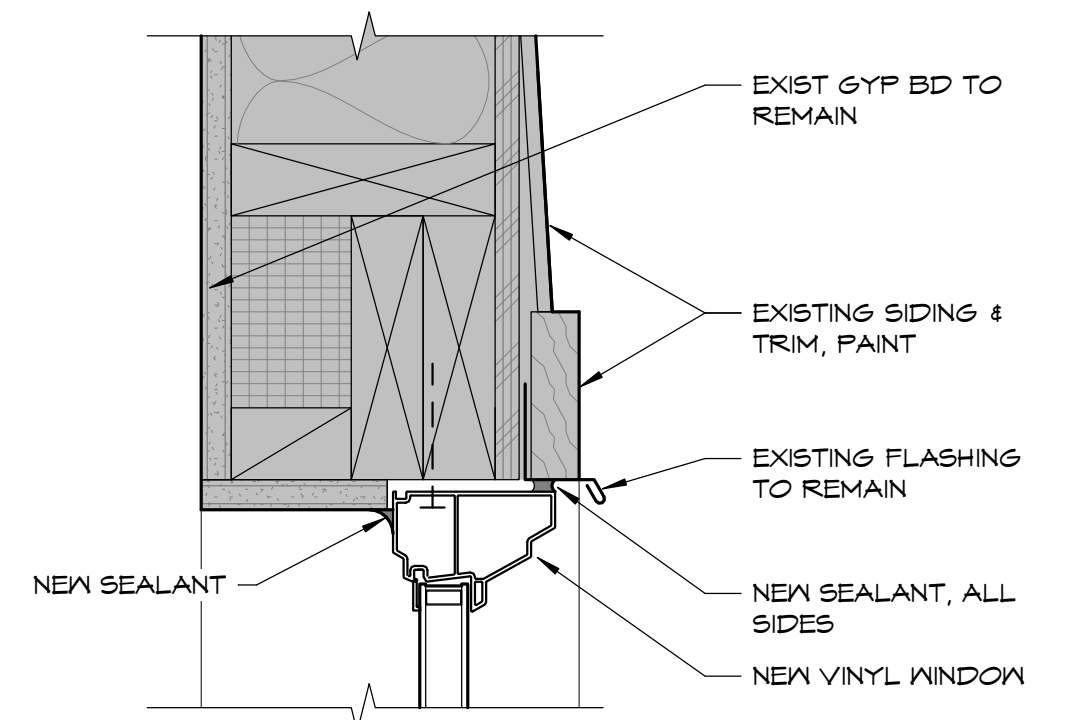


1 TYPICAL EAVE
1" = 1'-0" RF002

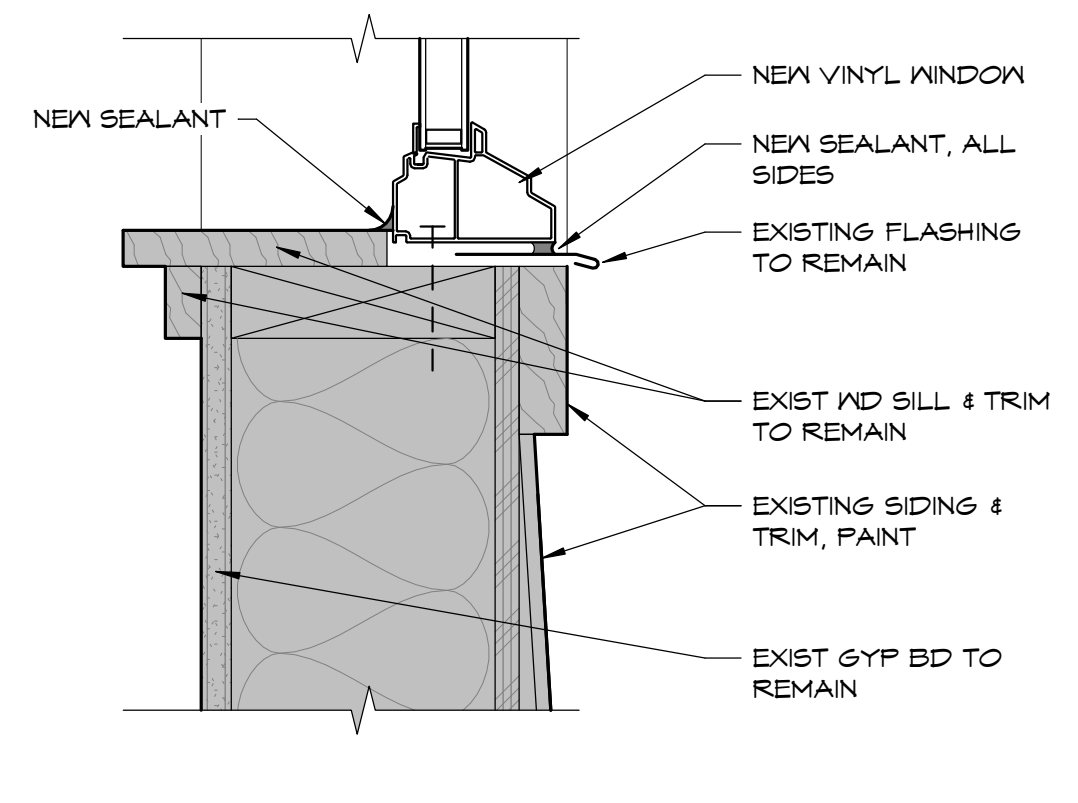


- NOTES:**
- FIELD UNDERLAYMENT NOT SHOWN FOR CLARITY.
 - VALLEY UNDERLAYMENT SHALL BE MIN 48" WIDE.
 - HIP UNDERLAYMENT SHALL BE MIN 48" WIDE.
 - THE CUT SIDE OF THE VALLEY SHOULD BE ON THE SIDE WITH THE GREATEST AREA.

2 CLOSED CUT VALLEY
1" = 1'-0" RF003



3 TYPICAL WINDOW HEAD
3" = 1'-0" (JAMB SIM) WD002



4 TYPICAL WINDOW SILL
3" = 1'-0" WD003

NO.	DATE	BY
1	3/4/21	RJB

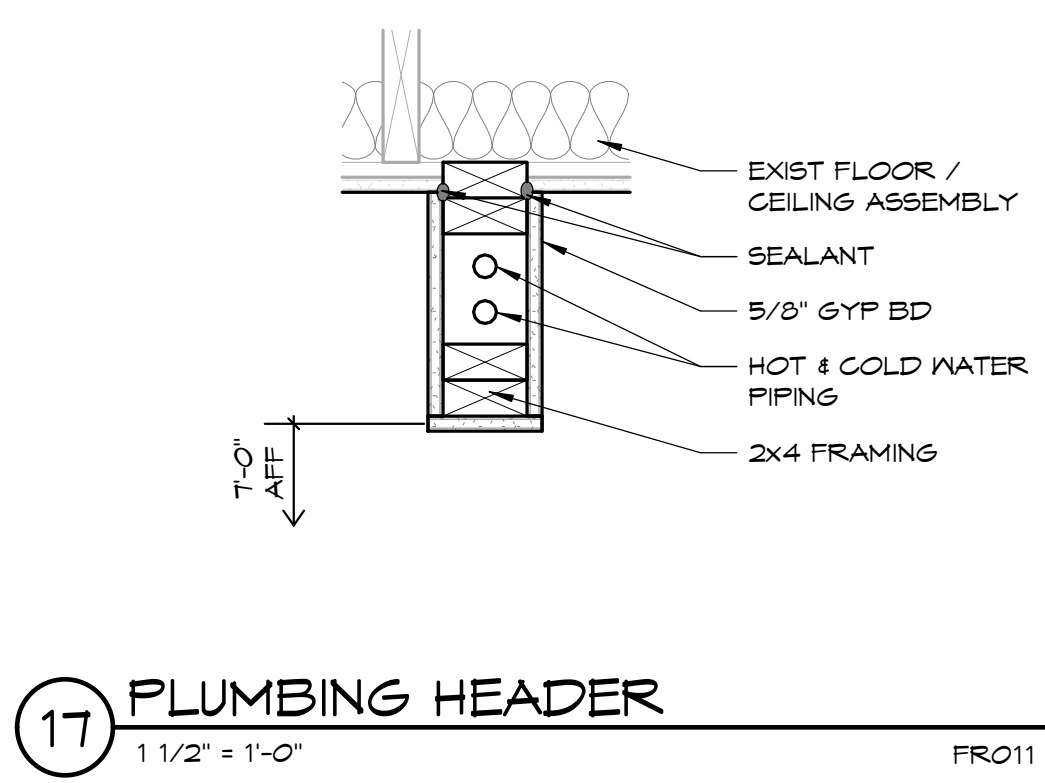
REVISIONS		

EXTERIOR DETAILS
PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

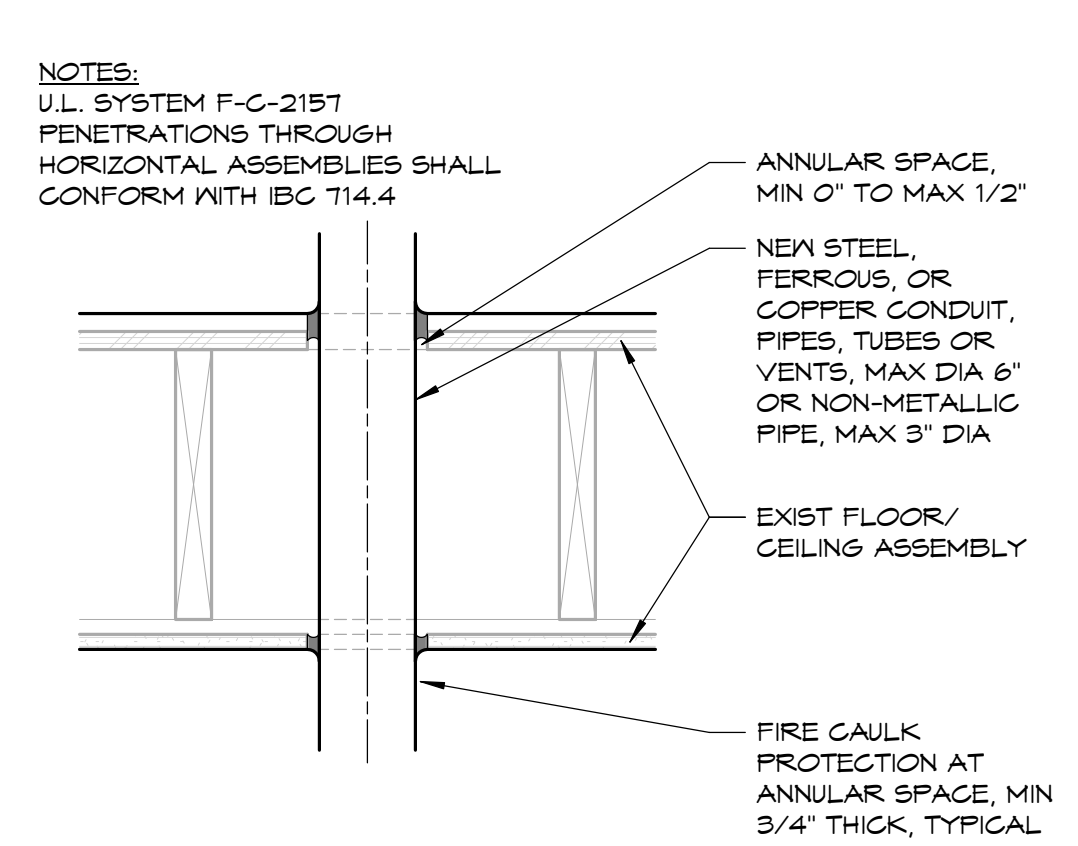
REGISTERED ARCHITECT
Mark S. King
MARK S. KING
STATE OF WASHINGTON

PROJECT NO.	2034
DRAWN:	RJB
CHECKED:	SEMB
DATE:	01/29/2021
DRAWING NO.	A501

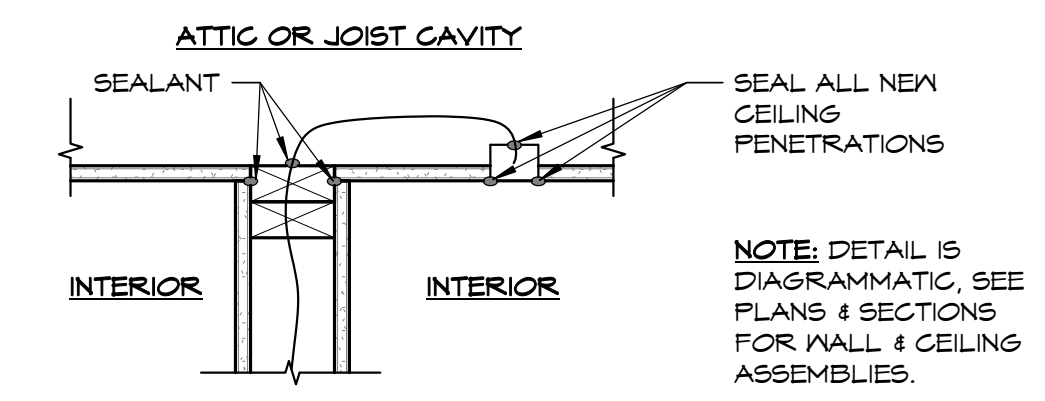
A501



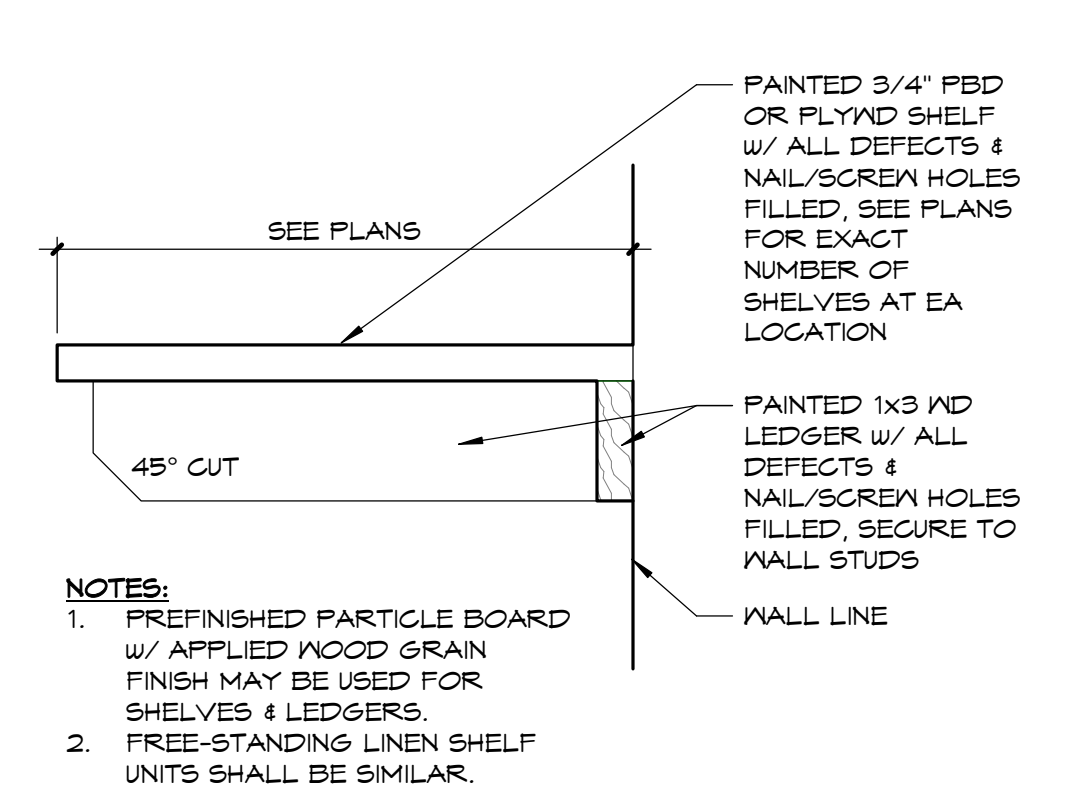
17 PLUMBING HEADER
1 1/2" = 1'-0"
FR011



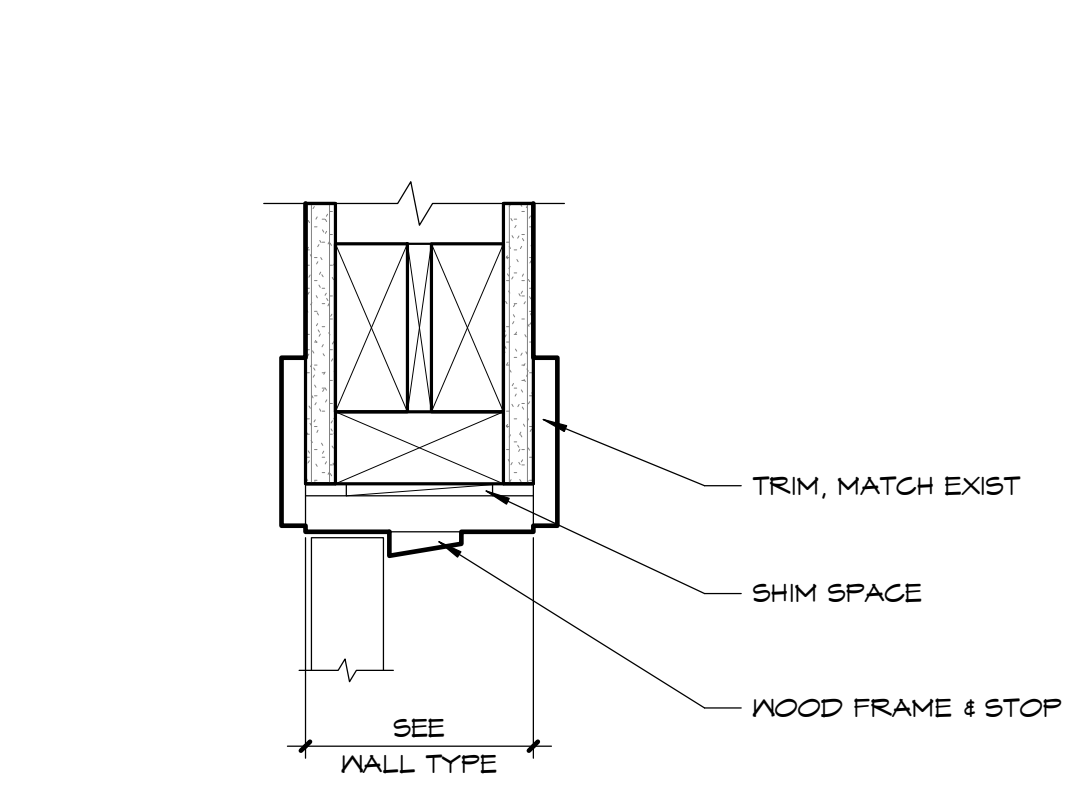
13 PENETRATION THRU FLR
1 1/2" = 1'-0"
FR026



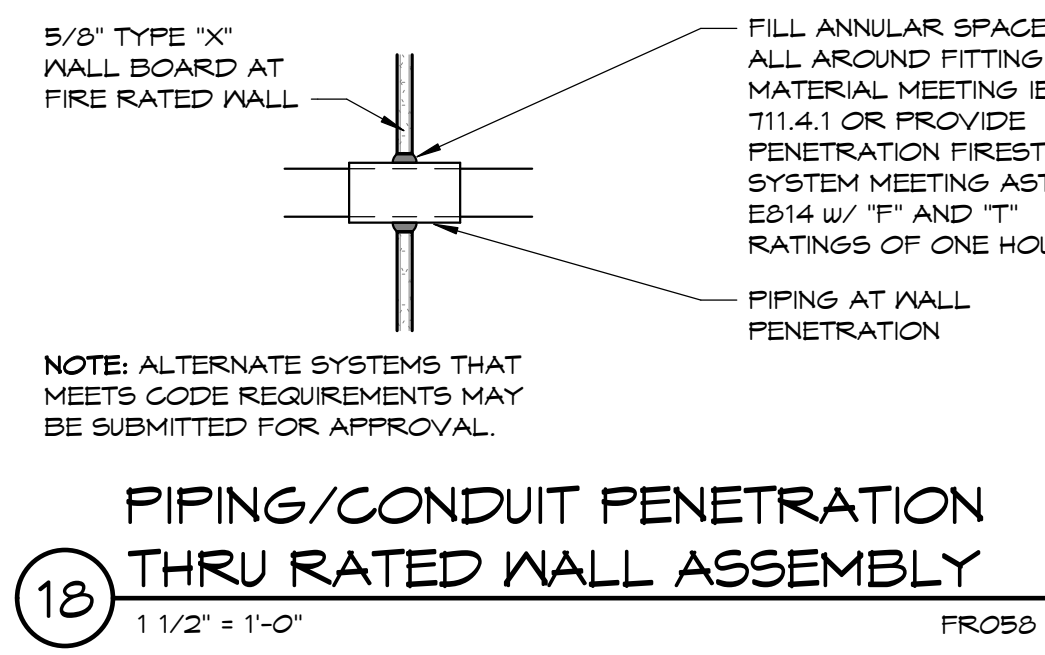
9 AIR SEAL AT CEILINGS
1 1/2" = 1'-0"
FR012



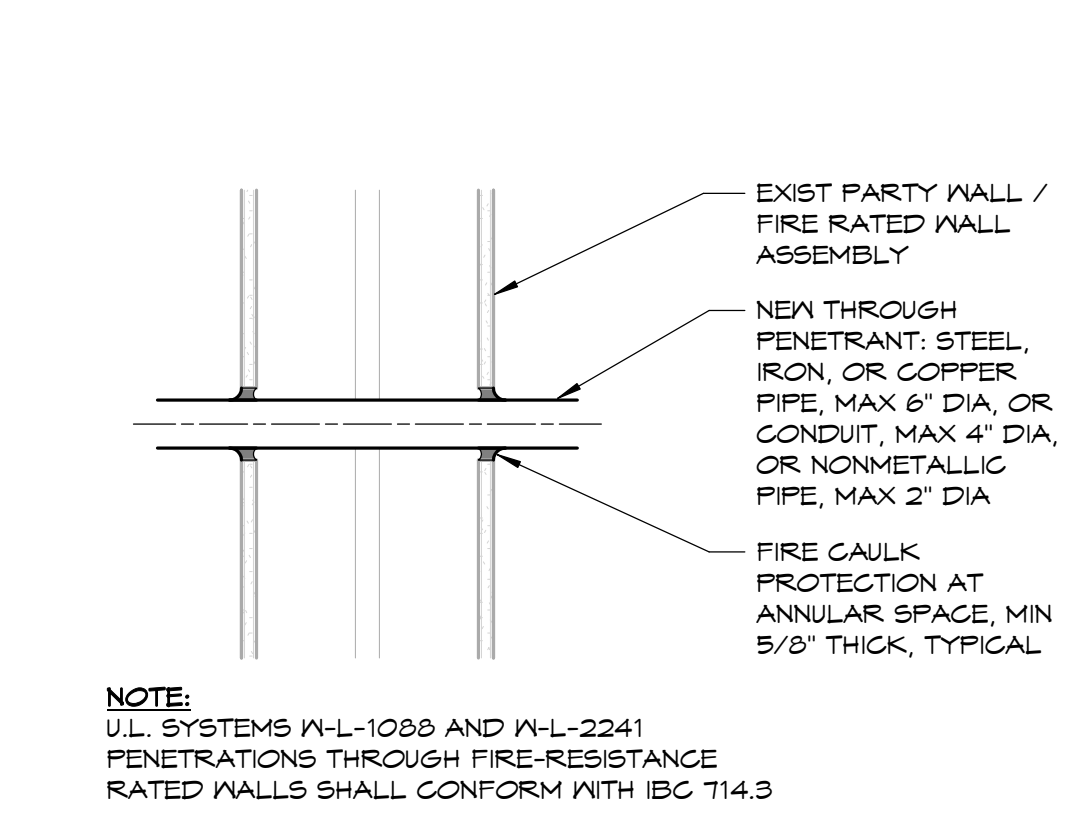
5 LINEN/PANTRY SHELF
3" = 1'-0"
CA003



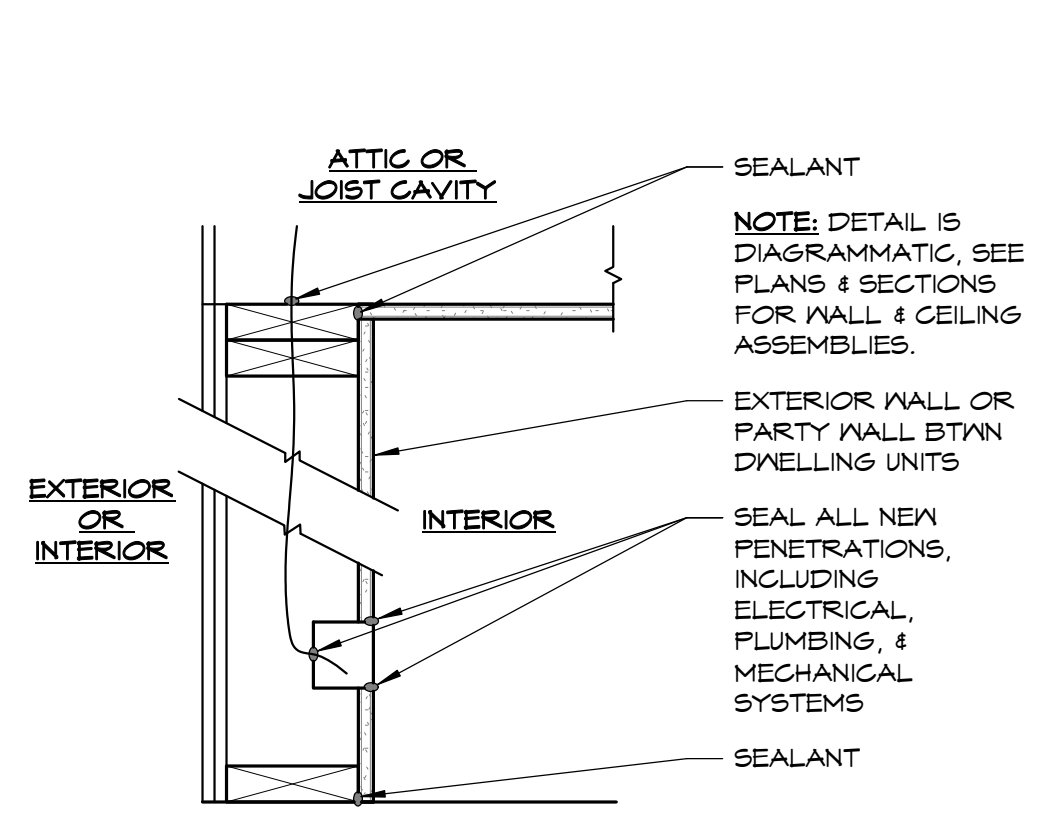
1 INTERIOR DOOR HEAD
3" = 1'-0"
DR001



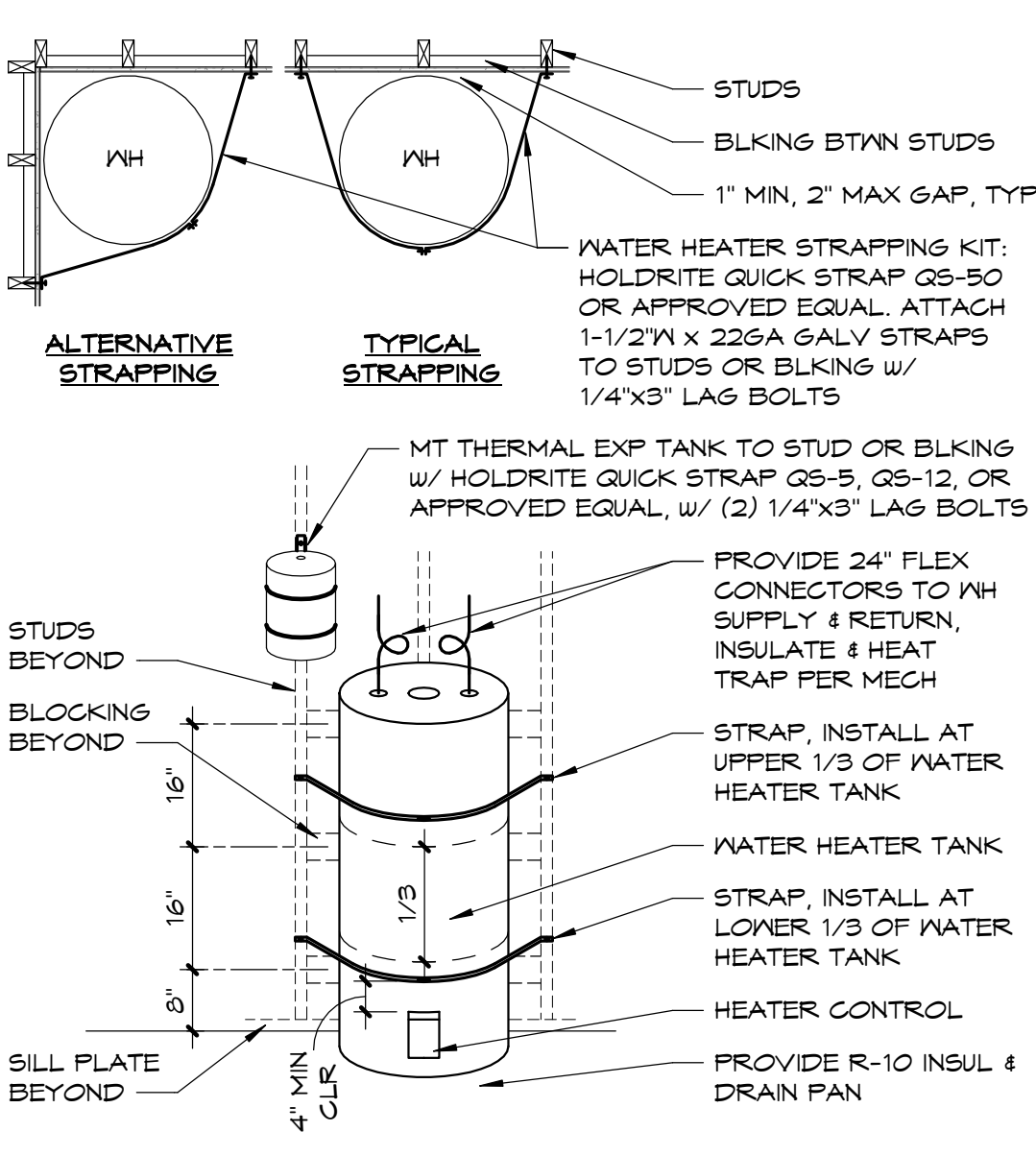
18 PIPING/CONDUIT PENETRATION THRU RATED WALL ASSEMBLY
1 1/2" = 1'-0"
FR058



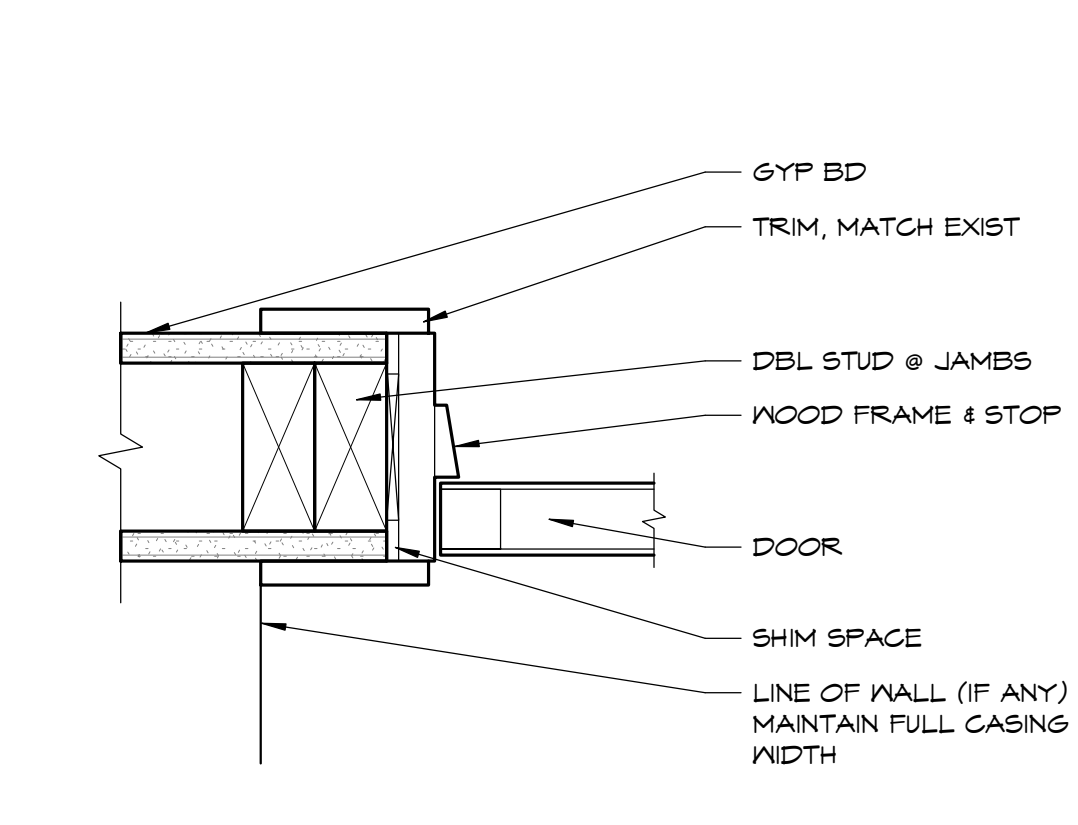
14 PENETRATIONS THRU WALL
1 1/2" = 1'-0"
FR021



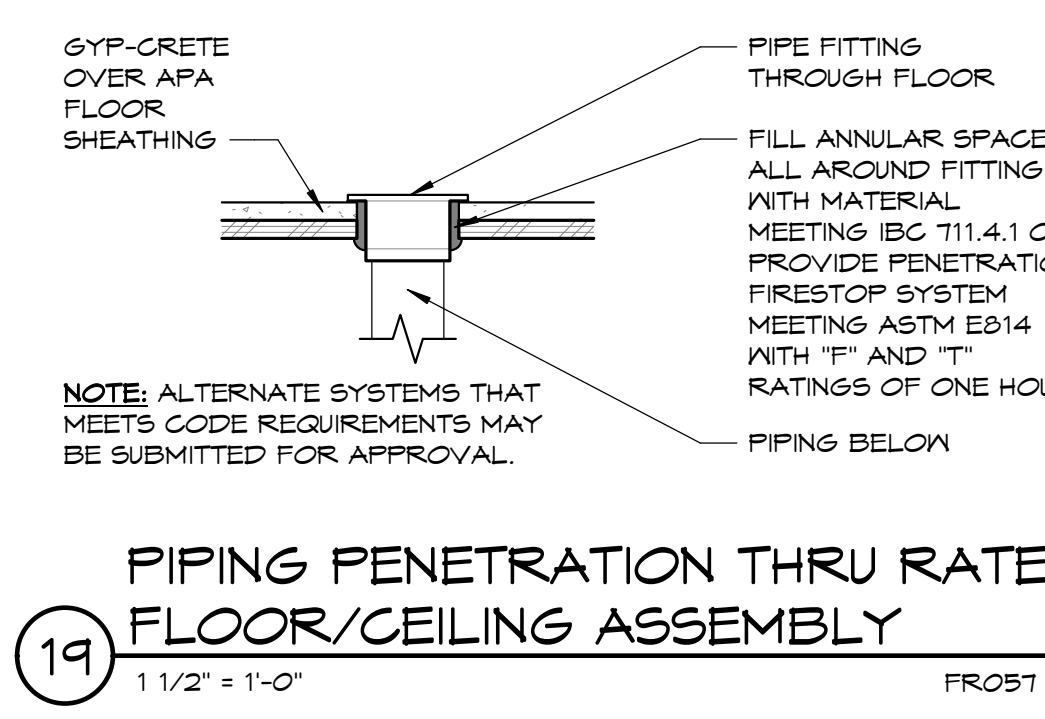
10 AIR SEAL AT WALLS
1 1/2" = 1'-0"
FR013



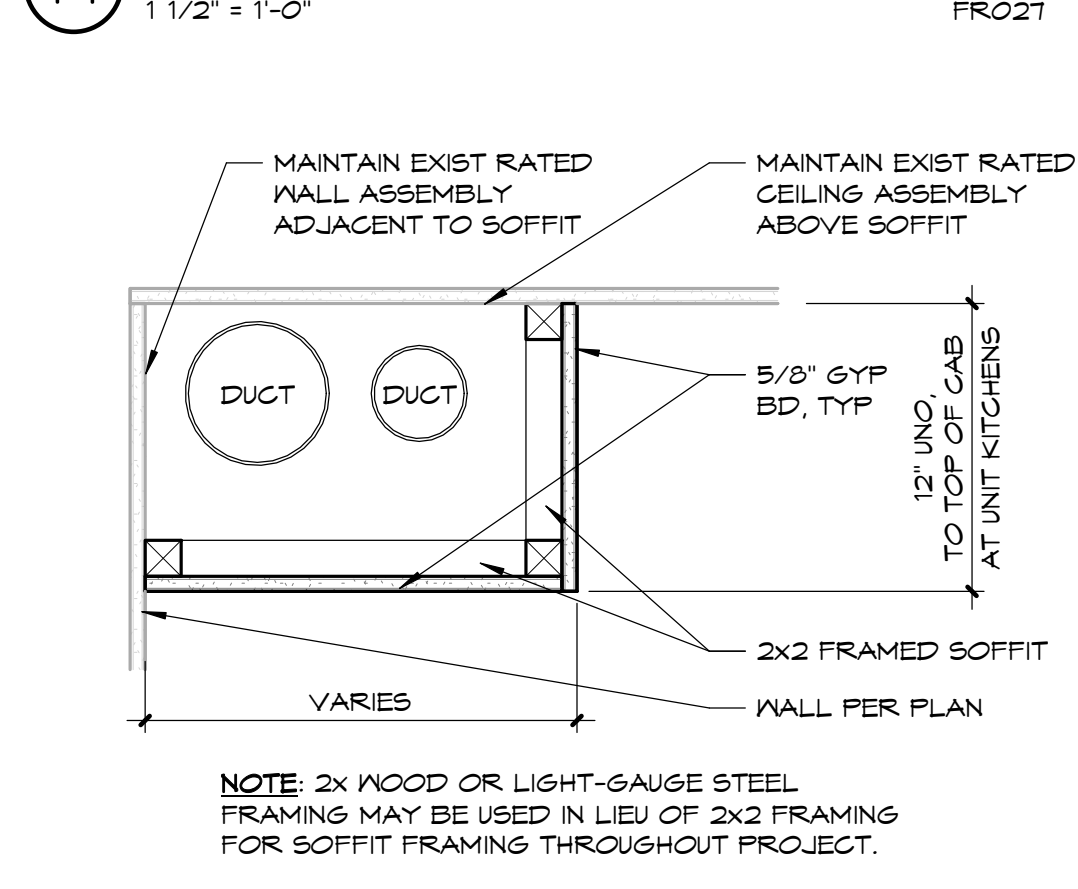
6 WATER HEATER STRAPPING
1/2" = 1'-0"
FR054



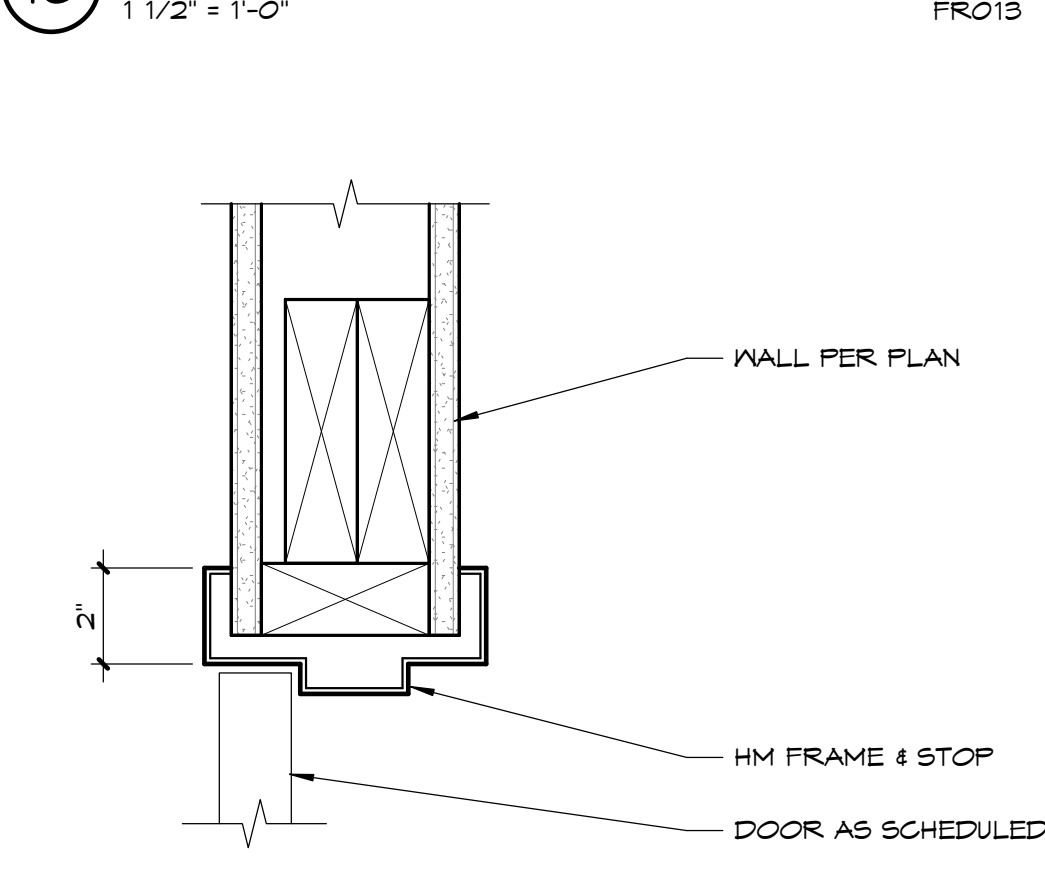
2 INTERIOR DOOR JAMB
3" = 1'-0"
DR002



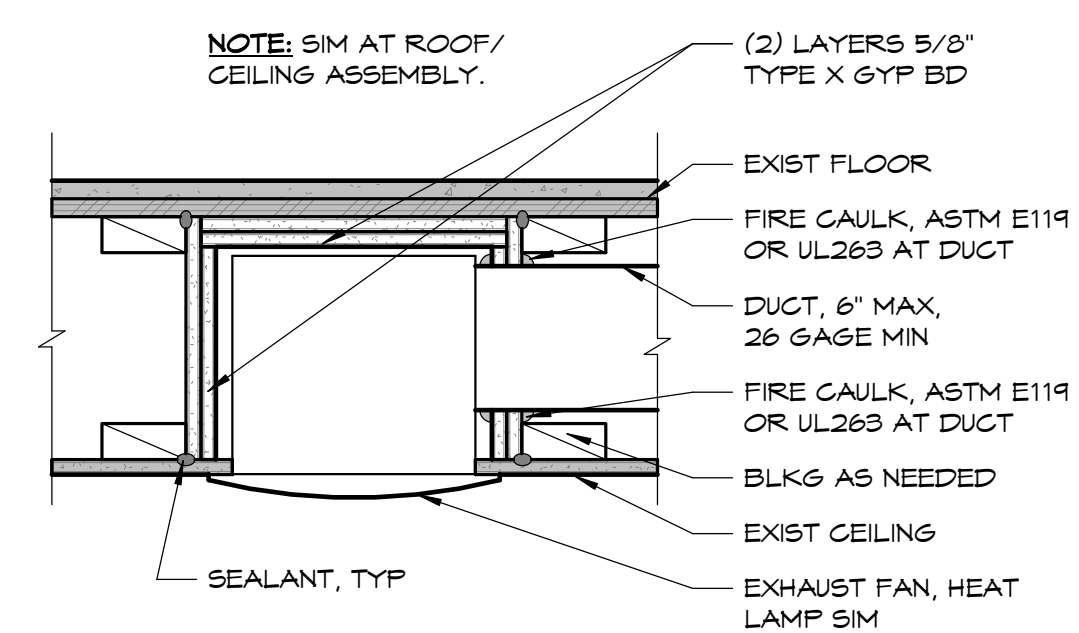
19 PIPING PENETRATION THRU RATED FLOOR/CEILING ASSEMBLY
1 1/2" = 1'-0"
FR051



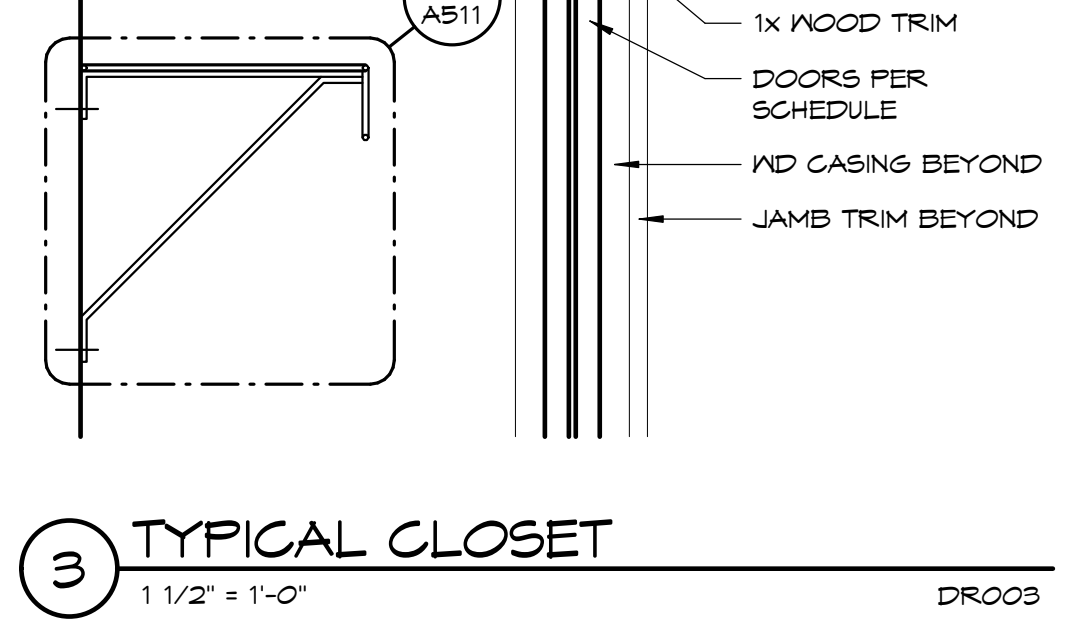
15 VENT SOFFIT
1 1/2" = 1'-0"
FR010



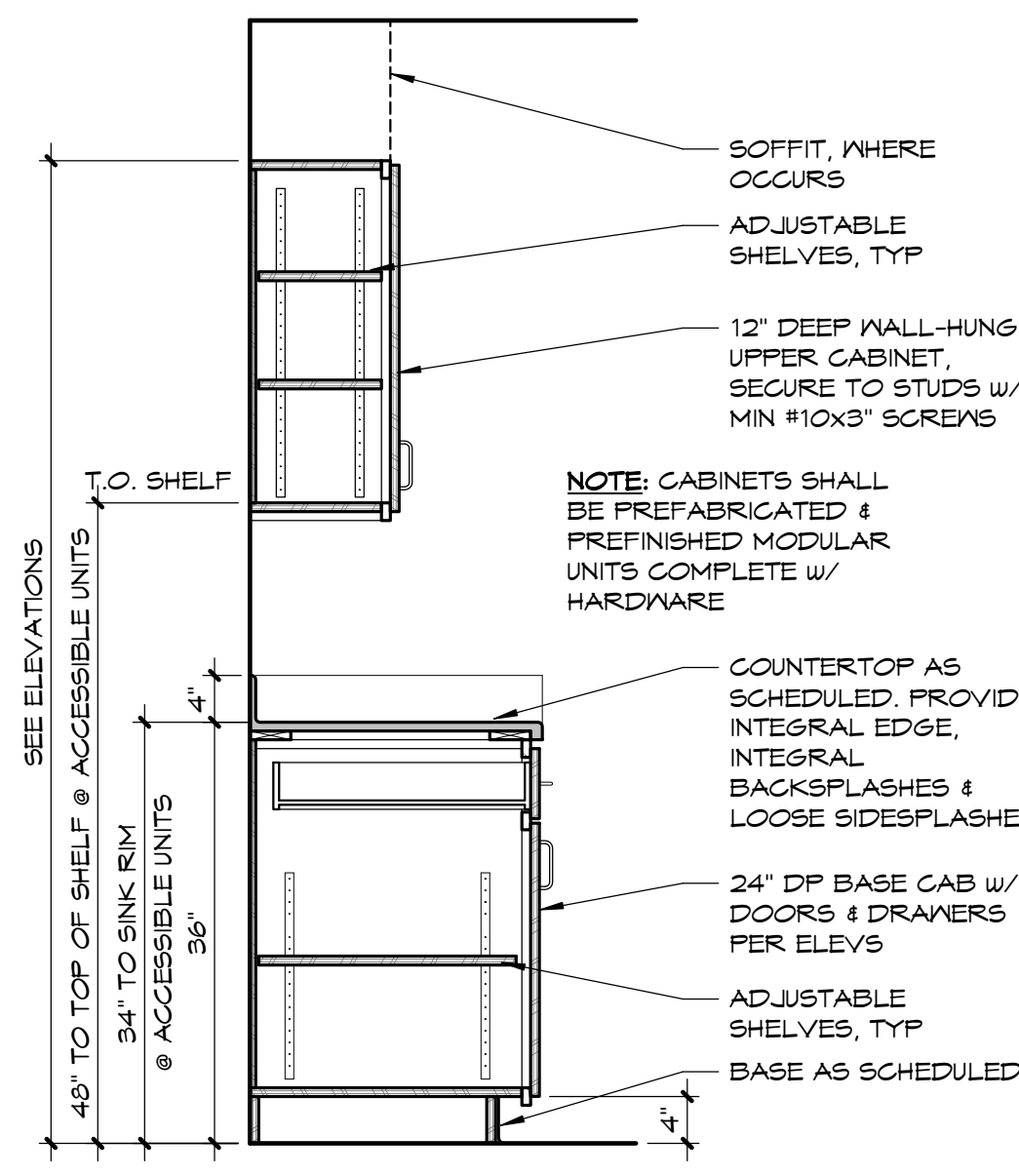
11 INT HM DOOR HEAD
3" = 1'-0"
DR011



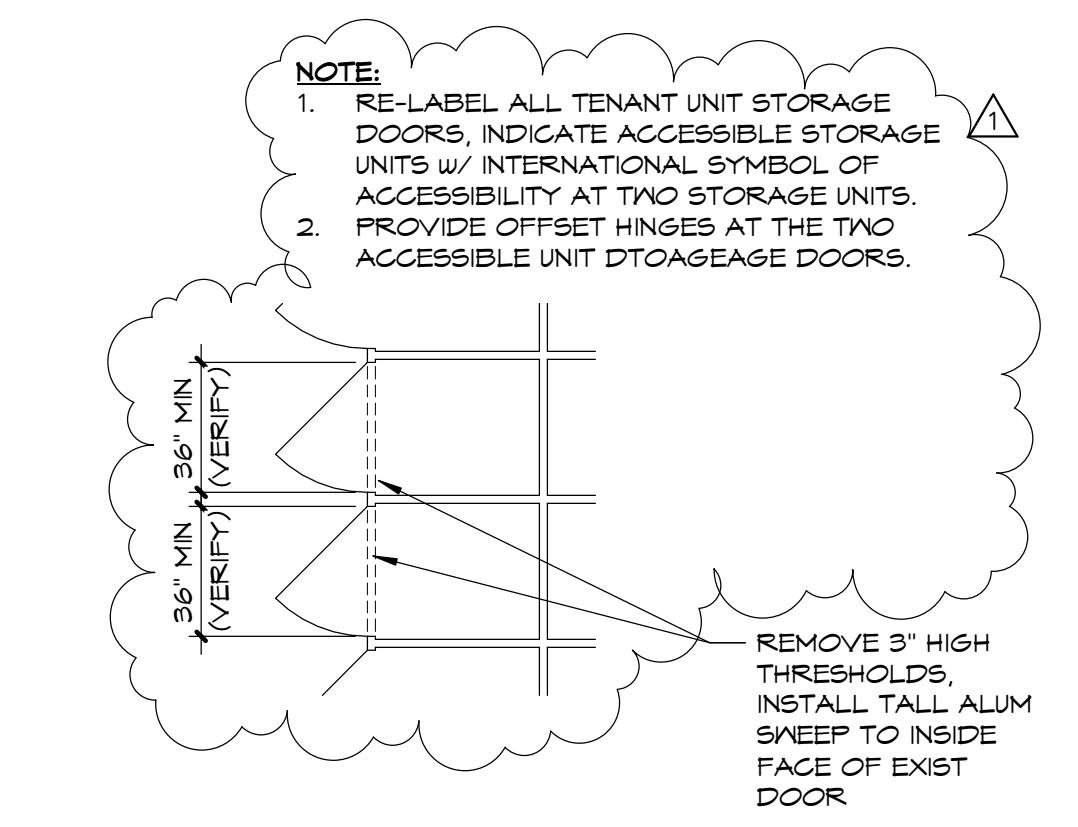
7 EXHAUST ENCLOSURE
1 1/2" = 1'-0"
FR017



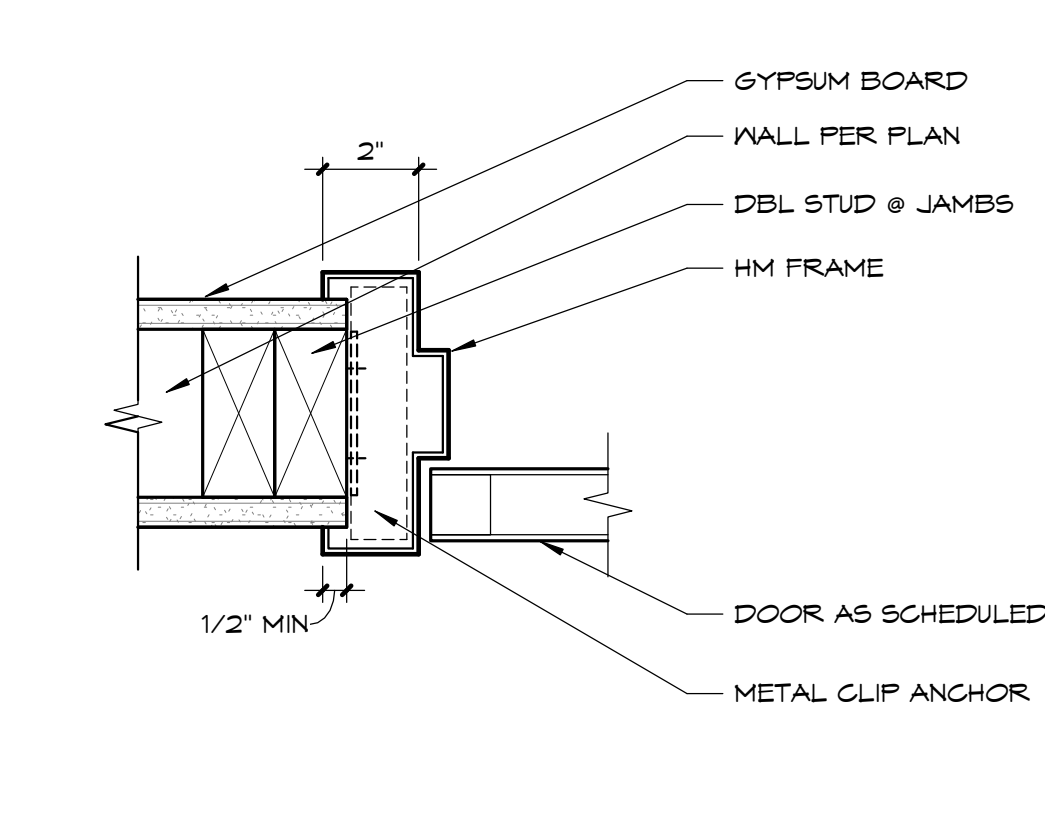
3 TYPICAL CLOSET
1 1/2" = 1'-0"
DR003



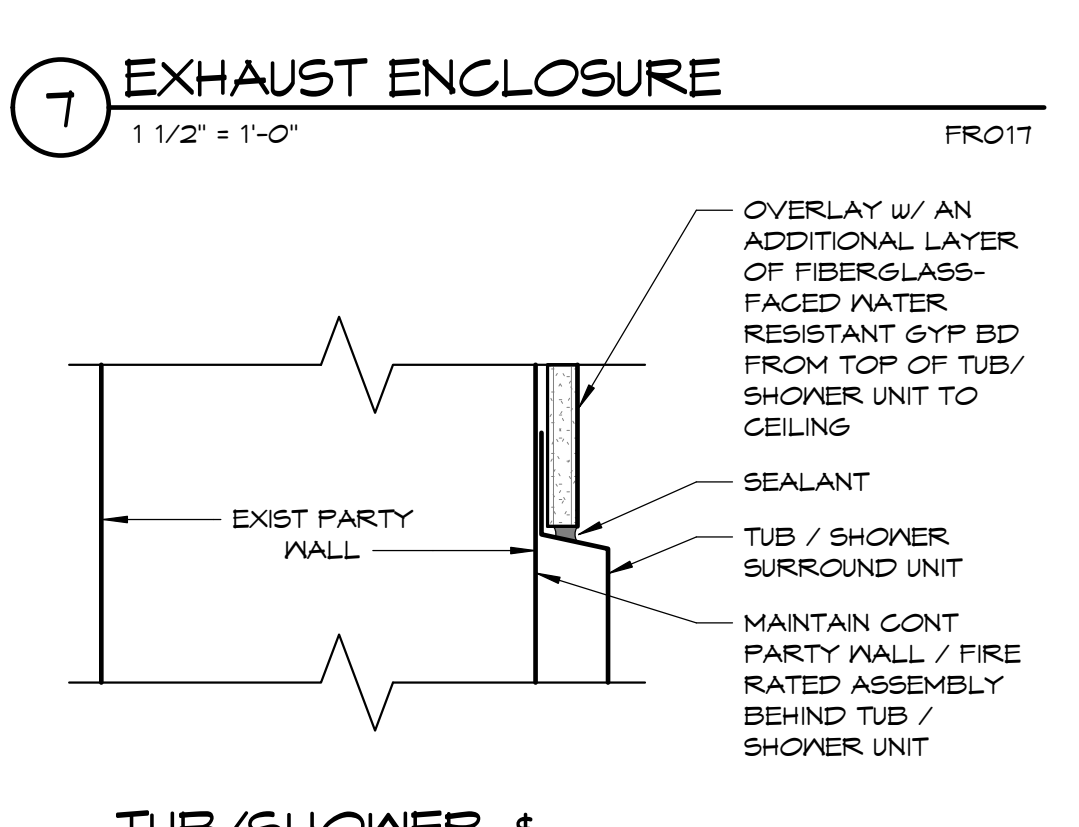
20 TYPICAL CABINET
3/4" = 1'-0"
CA001



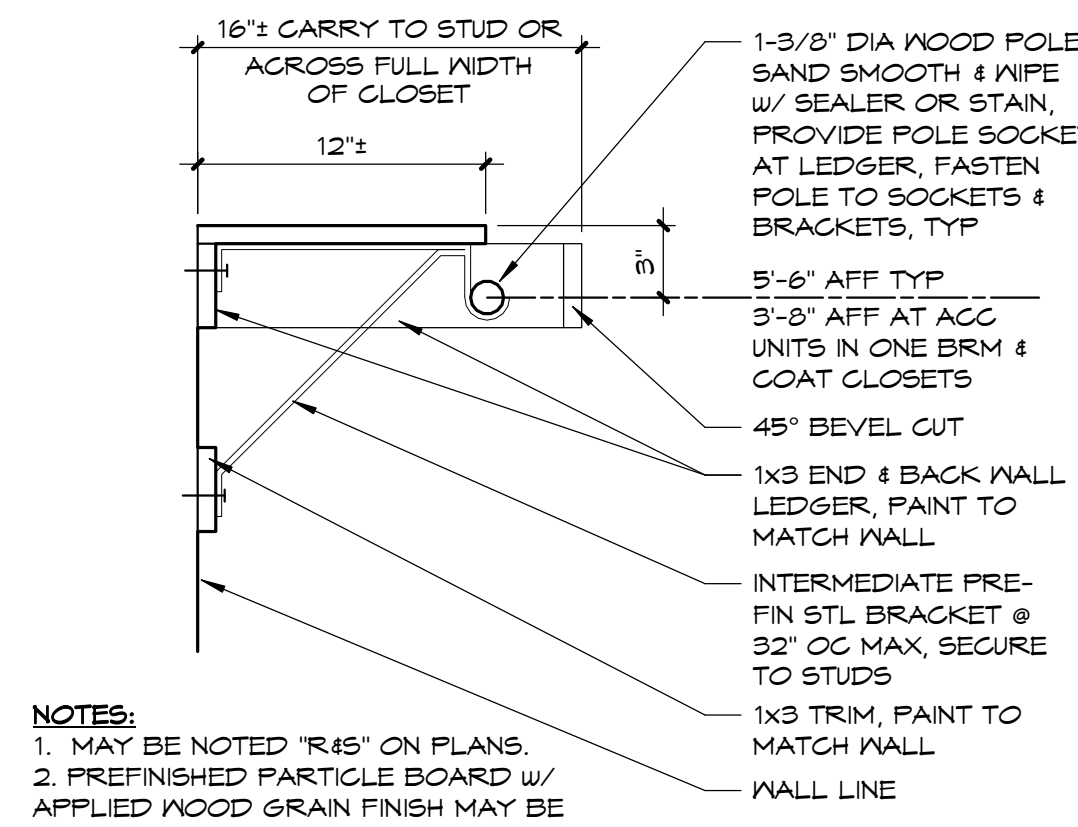
16 TENANT STORAGE DOORS
1/4" = 1'-0"
FR015



12 INT HM DOOR JAMB
3" = 1'-0"
DR012



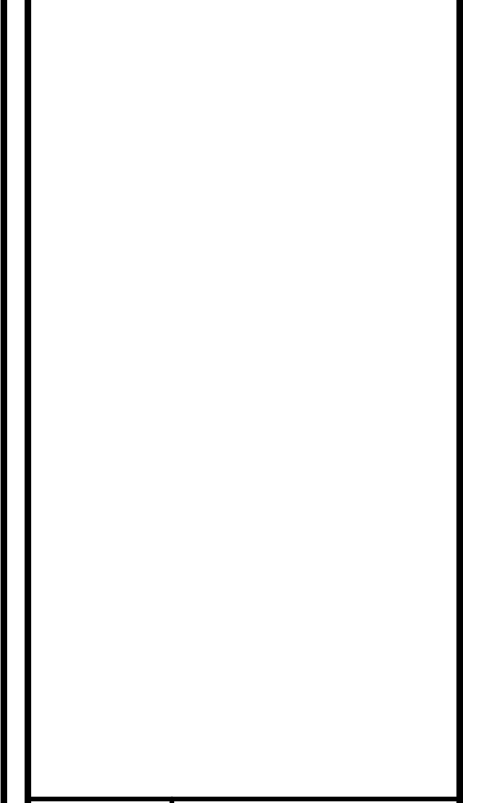
8 TUB/SHOWER & SHOWER AT PARTY WALL
3" = 1'-0"
FR008



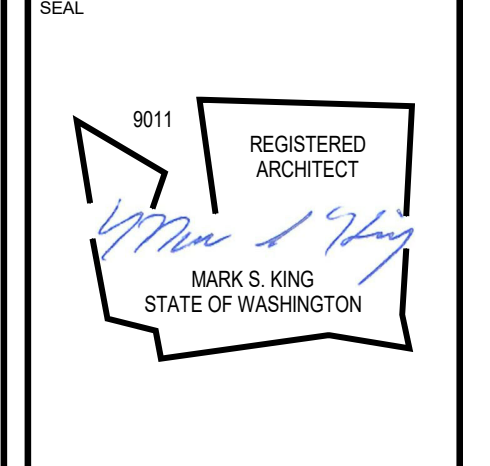
4 TYPICAL ROD & SHELF
1 1/2" = 1'-0"
CA002



1	3/4/21	RJB
REVISIONS		
NO.	DATE	BY



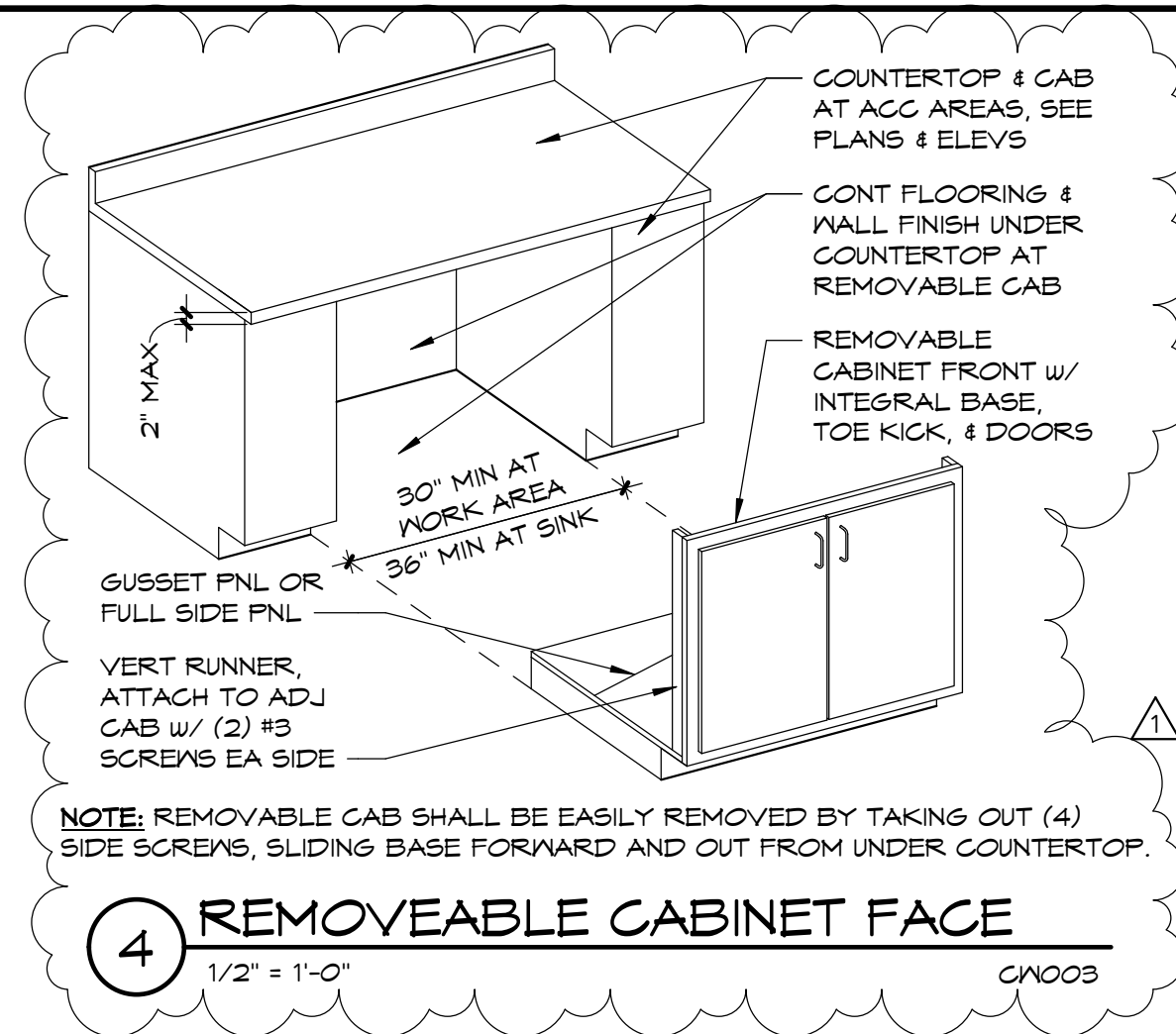
INTERIOR DETAILS
PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY



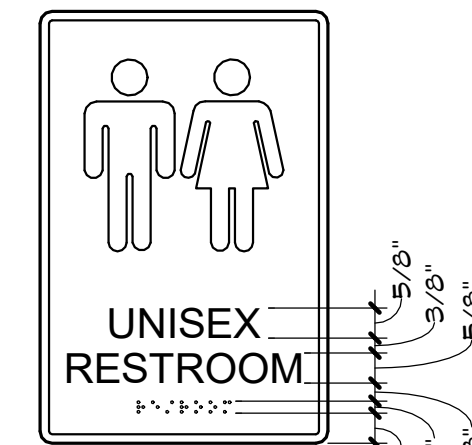
PROJECT NO.	2034
DRAWN:	RJB
CHECKED:	SEMB
DATE:	01/24/2021
DRAWING NO.	

A511

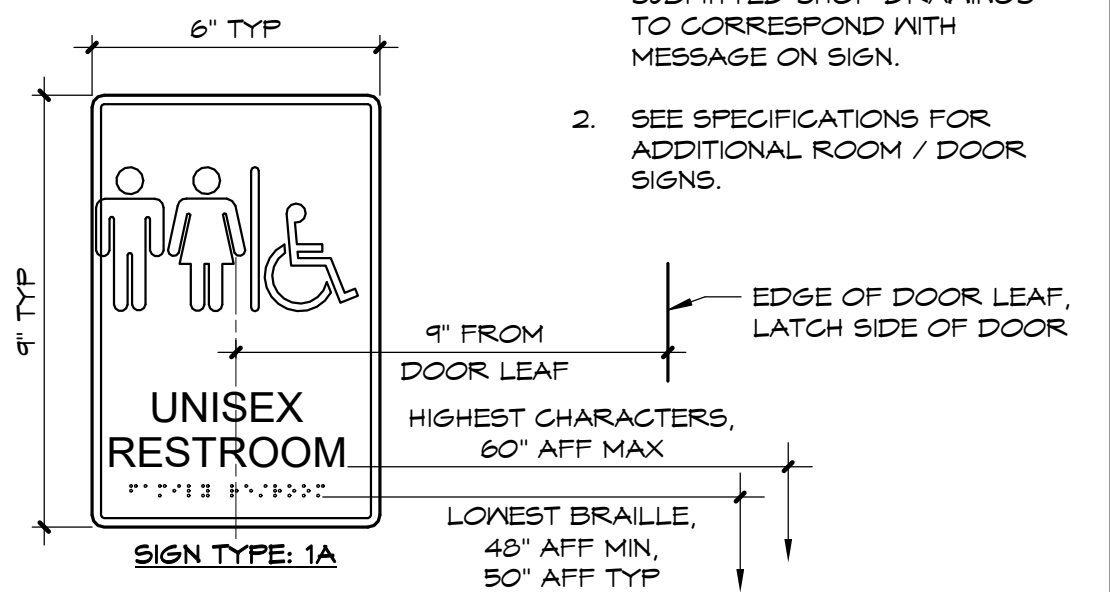
3/5/2021 2:58:43 PM C:\Revit_Temp\2034\Pacific Place_Drockman@zbaarchitecture.com.rvt



4 REMOVEABLE CABINET FACE
 1/2" = 1'-0" CA003

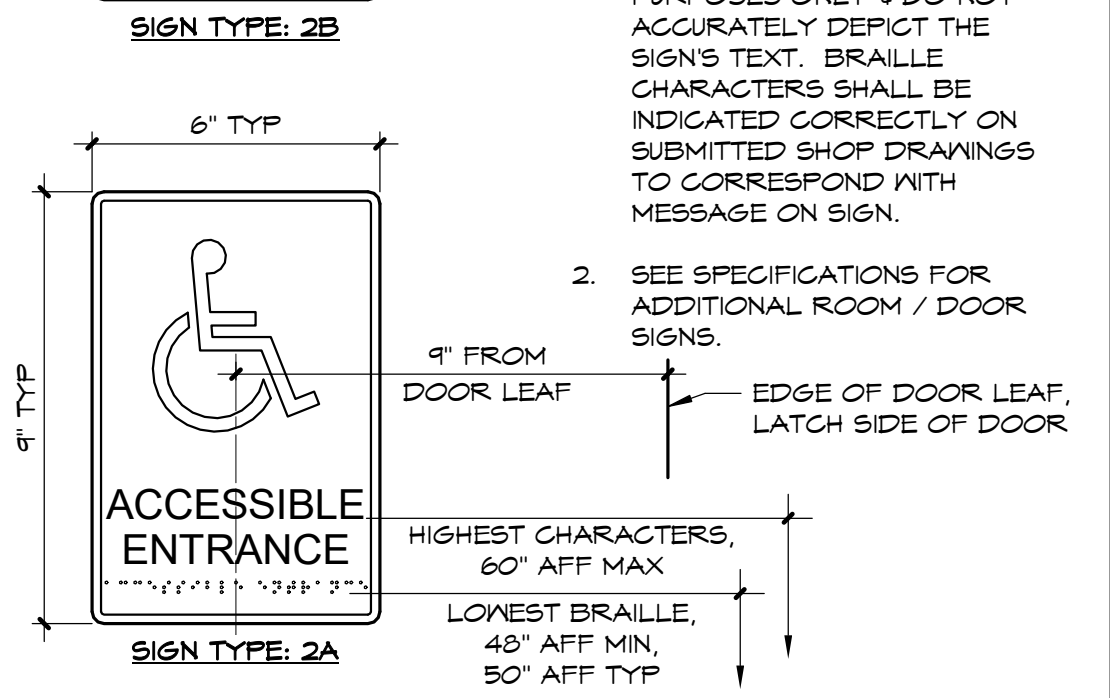


1 UNISEX RESTROOM SIGNS
 3" = 1'-0" SN001



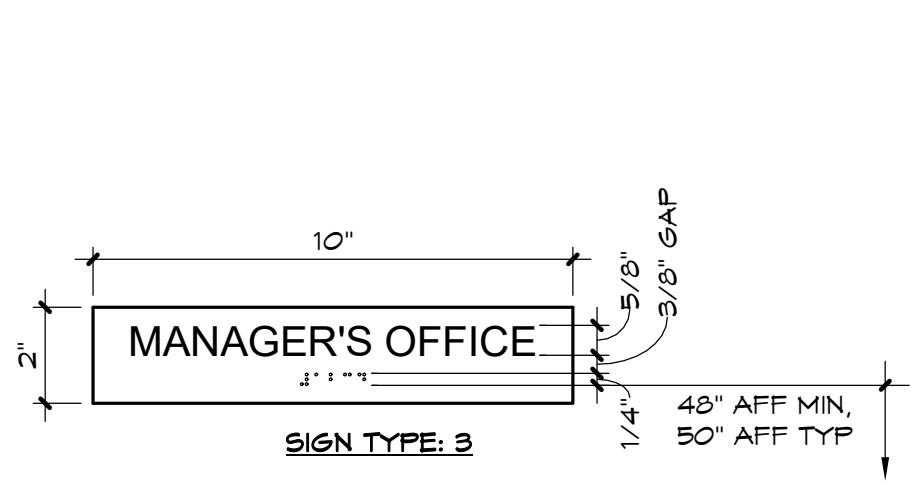
NOTES:
 1. BRAILLE CHARACTERS REPRESENTED IN THIS DETAIL ARE FOR ILLUSTRATION PURPOSES ONLY & DO NOT ACCURATELY DEPICT THE SIGN'S TEXT. BRAILLE CHARACTERS SHALL BE INDICATED CORRECTLY ON SUBMITTED SHOP DRAWINGS TO CORRESPOND WITH MESSAGE ON SIGN.
 2. SEE SPECIFICATIONS FOR ADDITIONAL ROOM / DOOR SIGNS.

2 ACC ENTRANCE SIGNS
 3" = 1'-0" SN002



NOTES:
 1. BRAILLE CHARACTERS REPRESENTED IN THIS DETAIL ARE FOR ILLUSTRATION PURPOSES ONLY & DO NOT ACCURATELY DEPICT THE SIGN'S TEXT. BRAILLE CHARACTERS SHALL BE INDICATED CORRECTLY ON SUBMITTED SHOP DRAWINGS TO CORRESPOND WITH MESSAGE ON SIGN.
 2. SEE SPECIFICATIONS FOR ADDITIONAL ROOM / DOOR SIGNS.

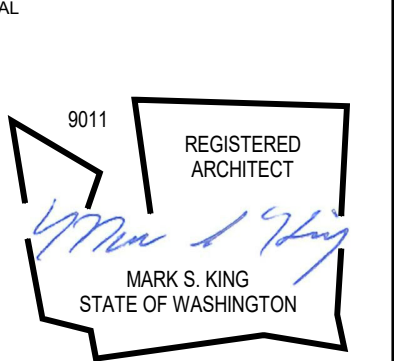
3 MANAGER'S OFFICE SIGN
 3" = 1'-0" SN001



NO.	DATE	BY
1	3/4/21	RJB

REVISIONS		

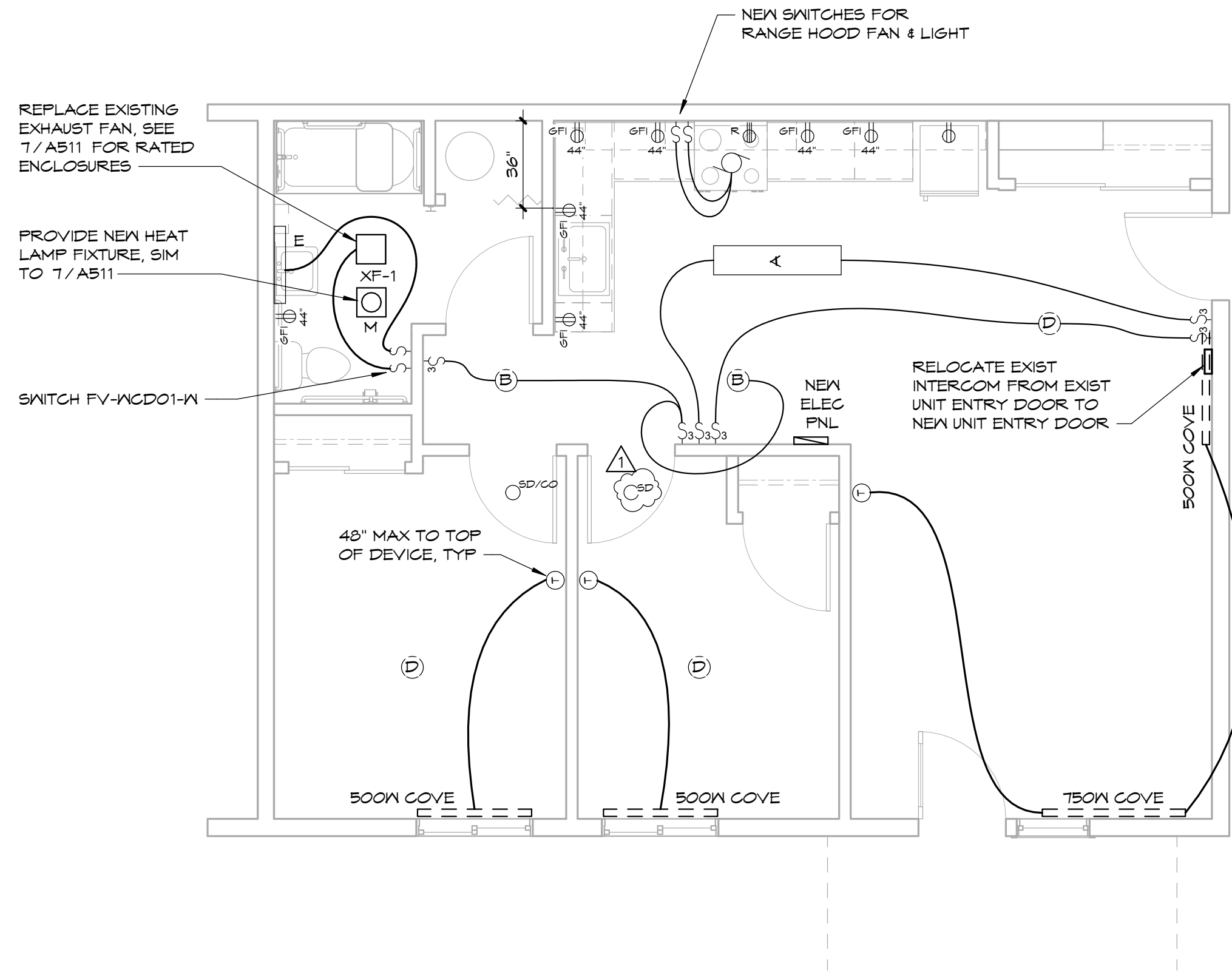
SHEET TITLE
 PROJECT TITLE
INTERIOR DETAILS
PACIFIC PLACE
 SOUTH BEND, WASHINGTON
 JOINT PACIFIC COUNTY HOUSING AUTHORITY



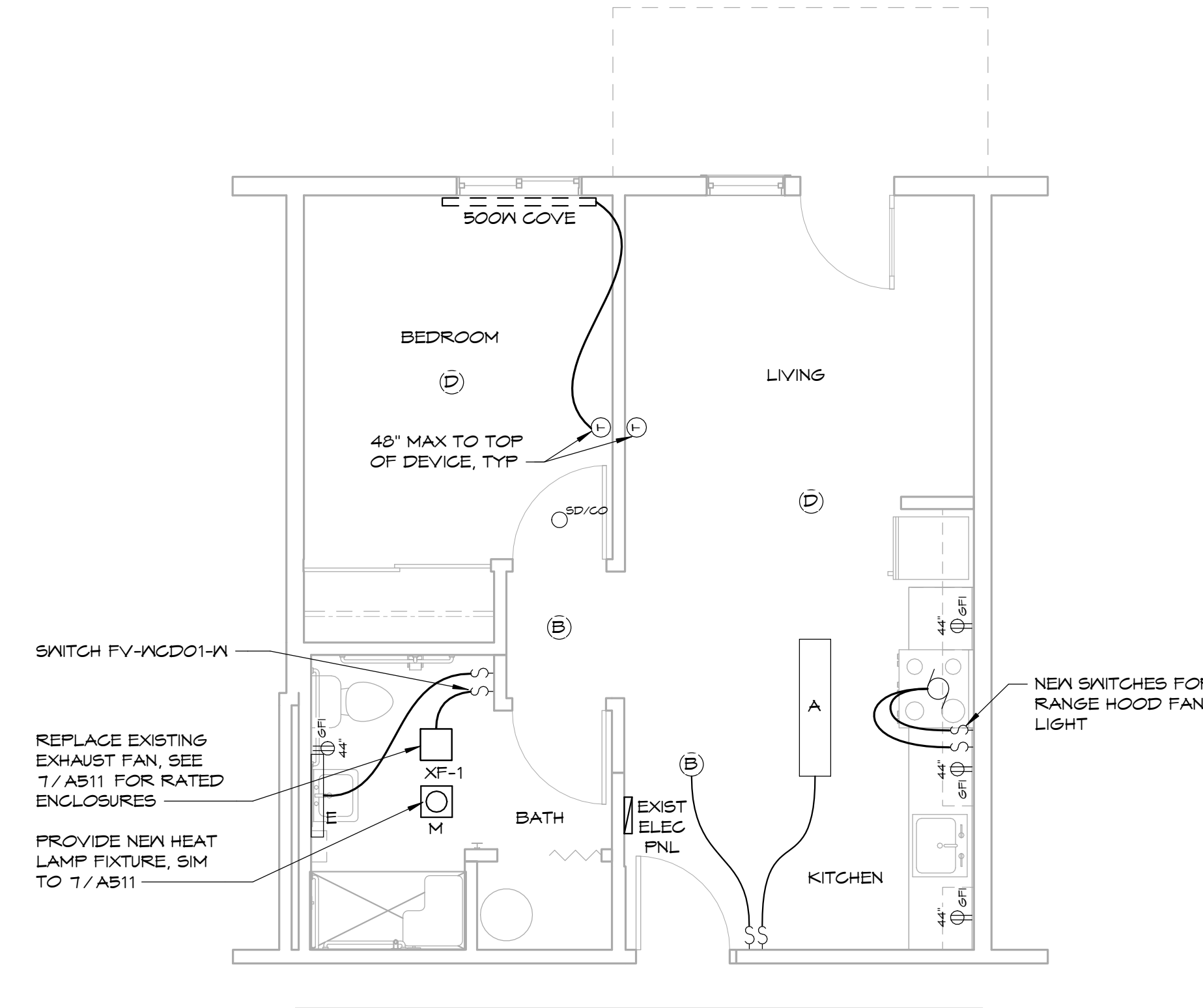
PROJECT NO.	2034
DRAWN:	RJB
CHECKED:	SEMB
DATE:	01/29/2021
DRAWING NO.	

A512

C:\Revit_Temp\2021\Pacific_Place_Brockman@baarchitect.com.rvt 3/5/2021 2:55:44 PM



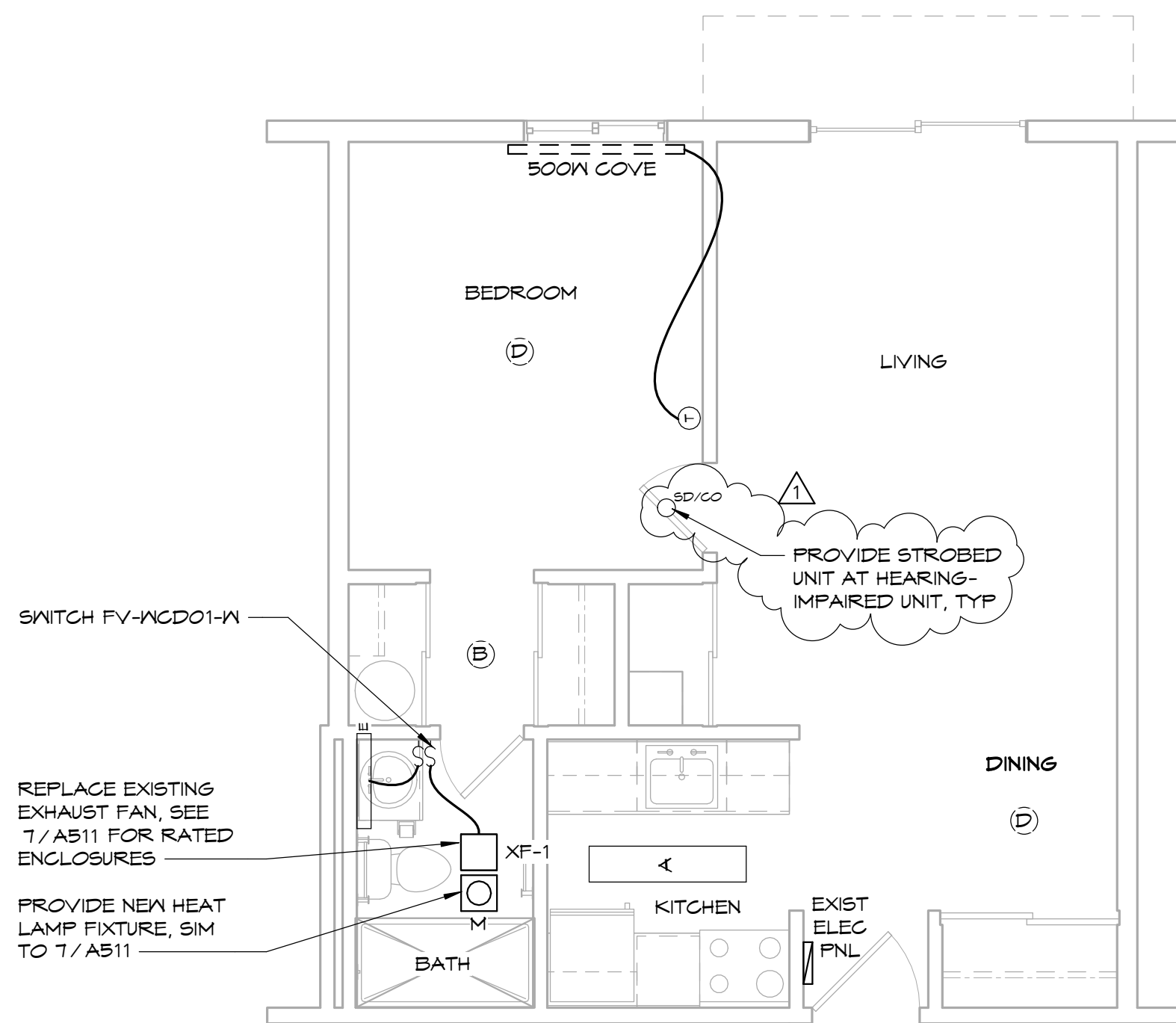
C ACCESSIBLE TWO-BEDROOM UNIT - ELEC PLAN
1/4" = 1'-0"



A ACCESSIBLE ONE-BEDROOM UNIT - ELEC PLAN
1/4" = 1'-0"

NOTE: *LAMP TYPES SHALL NOT BE SUBSTITUTED, ALL LED LAMPS SHALL BE 3000K IN COLOR.

SYMBOL	MFR	CATALOG NUMBER	LAMP TYPE*	LUMENS	FIXTURE WATTAGE	LOCATION	REMARKS
A	LITHONIA	CPANL 1X4 44LM 35K M4	INTEGRAL LED	4,400	39	KITCHEN, COMMUNITY, CORRIDORS	SET TO HIGH
B	JUNO	J5F 5IN 7LM 35K	INTEGRAL LED	700	10	UNIT HALL, CLOSET	
C	JUNO	J5F 7IN 10LM 35K	INTEGRAL LED	1,000	13	SERVICE AREAS	
D	JUNO	J5F 11IN 13LM 35K	INTEGRAL LED	1,300	15	LIVING, BEDROOM	
E	LITHONIA	FMVCLL 24IN 30K BN	INTEGRAL LED	1,690	18	VANITY	
F	LITHONIA	UCEL 24IN	INTEGRAL LED	742	11	UNDER CABINET	DIRECT WIRE
G	PROGRESS LIGHTING	P5204-31	A19 LED w/ E26 BASE*	750	10	LANDSCAPE	10 WATT LAMP
M	BROAN-NUTONE	161	BR40 INFRARED	-	250	BATH HEAT	
XF-1	PANASONIC	FV-0811VF5, FV-WCDO1-W	-	-	17	BATH EXHAUST	80 CFM, 20 MINUTE/HOUR
XF-2	PANASONIC	FV-0510VS1	-	-	16	CORRIDOR EXHAUST	80 CFM, SWITCH IN ELEC RM
XF-3	PANASONIC	FV-0811VF5	-	-	17	RR EXHAUST	80 CFM, OCCPANCY SWITCH w/ 20 MINUTE DELAY



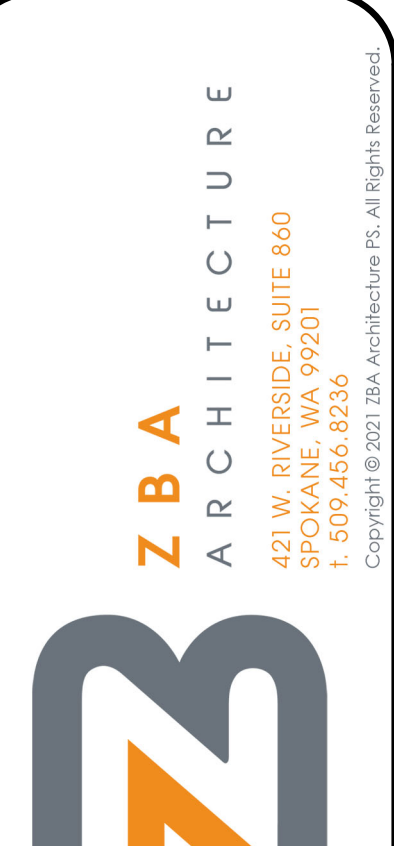
B ONE-BEDROOM UNIT - ELEC PLAN
1/4" = 1'-0"

ELEC NOTES

- ALL WORK TO CONFORM TO LATEST EDITION OF THE N.E.C.
- ALL CONDUCTORS SHALL BE COPPER, EXCEPT FEEDERS MAY BE ALUMINUM.
- NEW RECEPTACLES, TV OUTLETS, TELEPHONE OUTLETS, ETC. SHALL BE INSTALLED 15" ABOVE FLOOR TO DEVICE BOTTOM, UNLESS NOTED OTHERWISE. LIGHT SWITCHES, PTAC CONTROLS, THERMOSTATS, ETC. SHALL BE NO HIGHER THAN 48" TO TOP.
- PROVIDE SMOKE DETECTORS WHERE SHOWN ON PLANS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP. DETECTOR SHALL EMIT A SIGNAL WHEN BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION.
- FIXTURES EQUIVALENT TO THOSE LISTED IN THE LIGHT FIXTURE SCHEDULE MAY BE SUBSTITUTED IF APPROVED BY THE OWNER. ALL FIXTURES SHALL BE ENERGY STAR RATED. ALL LEDS SHALL BE 3000K IN COLOR TEMPERATURE.
- BATHROOM FANS SHALL HAVE AN AUTOMATIC TIMER AND BE DIRECTLY WIRED TO POWER. SET TIMER TO OPERATE FAN FOR 20 MINUTES EVERY HOUR. FANS SHALL ALSO BE SWITCHED OPERATED CONTINUOUSLY FOR CONVENIENCE.
- PLANS ARE DIAGRAMMATIC ONLY. CENTER LIGHTS IN ROOMS, GANG SWITCHES, AND ADJUST DEVICES AS NEED TO MATCH STUD SPACING.
- NOT ALL ELECTRICAL DEVICES AND FIXTURES ARE SHOWN. ELECTRICAL WIRING IS SHOWN FOR CLARITY, EXISTING WIRING COMPLIANT w/ THE NEC SHALL BE PROTECTED.
- REPLACE EXISTING BASE BOARD HEATERS w/ NEW COVE HEATERS WHERE INDICATED. COVE HEATERS SHALL BE THE SAME WATTAGE AS EXISTING BASE BOARD HEATERS

ELEC SYMBOLS

- LIGHT FIXTURE
- LIGHT FIXTURE
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- WALL MOUNT LIGHT FIXTURE
- EXHAUST FAN
- HEAT/LIGHT/FAN OR HEAT/LIGHT
- RANGE HOOD CONNECTION
- SWITCH
- 3-WAY SWITCH (OR 4-WAY WHERE NOTED)
- FAN/LIGHT SWITCH WITH OFF DELAY
- TIME SWITCH
- PHOTO CELL
- STANDARD RECEPTACLE
- RANGE RECEPTACLE
- RECEPTACLE WITH TOP HALF SWITCHED
- AIR CONDITIONER OR DRYER RECEPTACLE
- GROUND FAULT INTERRUPTER RECEPTACLE
- WEATHER PROOF GFI RECEPTACLE
- CABLE TELEVISION OUTLET
- JUNCTION BOX OR DISCONNECT SWITCH AS REQUIRED FOR EQUIPMENT (VERIFY)
- WALL MOUNTED LIGHT
- DOOR BELL SYSTEM
- TELEPHONE / DATA
- COVE HEATER



NO.	DATE	BY
1	3/4/21	RJB

REVISIONS		

ELECTRICAL UNIT PLANS & SCHEDULE
PROJECT TITLE
PACIFIC PLACE
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY



PROJECT NO.	2034
DRAWN:	RJB
CHECKED:	SEMB
DATE:	01/29/2021
DRAWING NO.	E401